



City of Chicago



O2022-2750

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	9/21/2022
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 3-M at 5852-5858 W Augusta Blvd - App No. 21140T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

**NARRATIVE AND PLANS FOR PROPOSED REZONING FOR A TYPE 1 ZONING
AMENDMENT – 5852-5858 AUGUSTA BOULEVARD**

The current zoning of the parcel is RS-3 Residential District. The zoning amendment is required to change the zoning of the parcel to B2-3 Neighborhood Mixed Use District. The zoning change is needed to allow a new Community Center to exist. There will be no exterior changes to the existing building.

Lot Area:	4,938 sq. ft.
FAR:	0.814
Building Area:	4,019.48 sq. ft.
Density/Dwelling Unit:	0 (Zero)
Off Street Parking Spaces:	0 spaces
Front Setback: (Existing)	0 ft.
Rear Setback: (Existing)	2.90 ft..
Sidyard (North): (Existing)	0' x 0" ft.
Sidyard (South): (Existing)	0 ft.
Building Height: (Existing)	15.83 ft.

After rezoning, the property shall be used to operate a Community Center



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

October 4, 2019

Verastine Wardlaw
Connections to the Future, Inc
5858 West Augusta Blvd
Chicago, IL 60651

RE: Parking Determination
Proposal: Community Center
Location: 5852-58 W Augusta Blvd

Dear Ms Wardlaw,

This is in reference to a determination of the minimum off-street parking requirement pursuant to Section 17-10-207-E of the Chicago Zoning Ordinance for a Community Center use locating in an RS3 Residential Single-Unit District.

According to the information provided, the facility will serve as a Community Center providing space for youth services, parental education, meeting and exhibit space. There will typically be a maximum of six employees staffed at any one time.

Please note that Community Centers are Special Uses and must be reviewed and approved by the Zoning Board of Appeals (ZBA). If approved, the intensity of use will be established by the ZBA as part of the review and approval process. In as much the typical standard for employee parking exercised is one space for every three staff resulting in a requirement of two automobile parking spaces along with a default minimum of four bicycle spaces. Furthermore, adding at least two spaces to the requirement should allow for user transition or accommodate added staff.

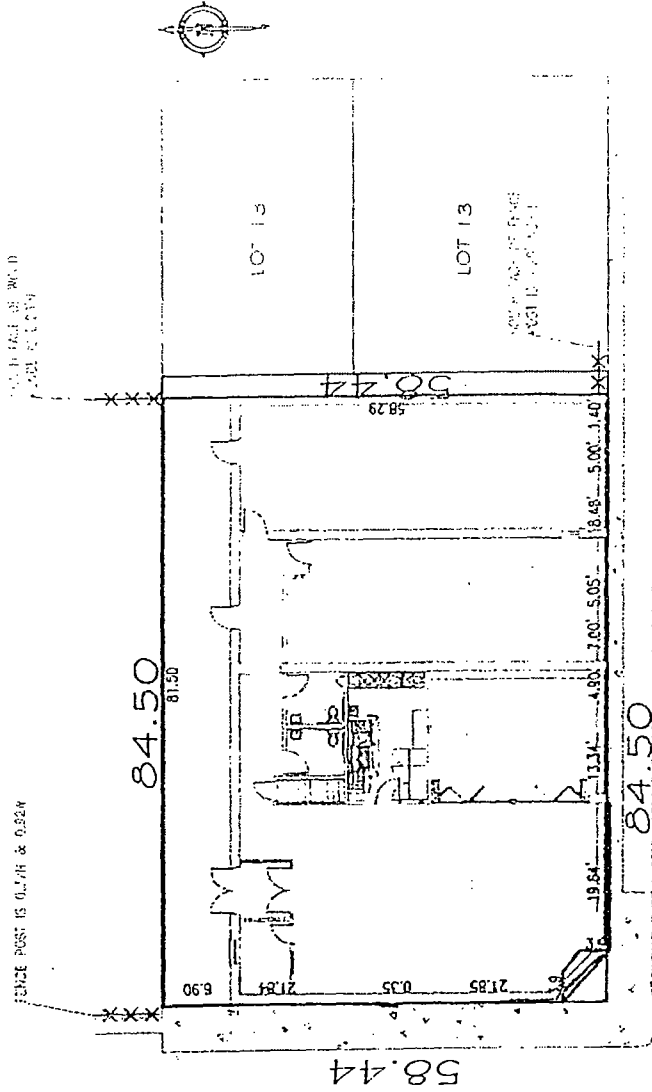
Therefore, the Department of Planning and Development determines that the minimum off-street parking requirement for the proposed Community Center use should be set at four (4) automobile parking spaces and four (4) bicycle spaces.

Sincerely,

A handwritten signature in black ink, appearing to read "Patrick Murphey".

Patrick Murphey
Zoning Administrator

NORTH MAYFIELD AVENUE

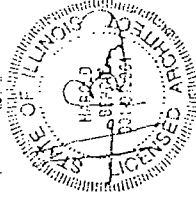


WEST AUGUSTA BLVD

1 PROPOSED SITE PLAN
 of 2 SCALE 1/16" = 1'-0"

LOT AREA: 4,938.14 S.F.
 BUILDING AREA = 4,019.52 S.F.
 EXISTING ZONING RS-3

DATE 9/11/2022



DESIGN FIRM LICENSE
 No. 134-00733-0001

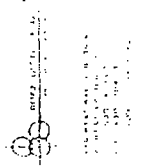


13309 SOUTH MAYFIELD AVENUE
 NORTH MAYFIELD AVENUE
 AUSTIN, TEXAS 78704

13309 SOUTH MAYFIELD AVENUE
 NORTH MAYFIELD AVENUE
 AUSTIN, TEXAS 78704

PROJECT NO.	13309
DATE	9/11/2022
SCALE	1/16" = 1'-0"
PROJECT NAME	13309 SOUTH MAYFIELD AVENUE
OWNER	
DESIGNER	JAMES C. HILLINGS
ARCHITECT	JAMES C. HILLINGS
ENGINEER	
PLUMBER	
ELECTRICIAN	
Mechanical	
Structural	
Other	

1000 SOUTH OXFORD
 CHAIRMAN VISITING AGENCY
 ADDITION, MODIFICATION

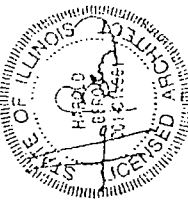


DATE	11/13/2021
BY	JMS
CHECKED BY	JMS
SCALE	AS SHOWN
PROJECT NO.	1000 SOUTH OXFORD
DATE	11/13/2021
BY	JMS
CHECKED BY	JMS
SCALE	AS SHOWN
PROJECT NO.	1000 SOUTH OXFORD

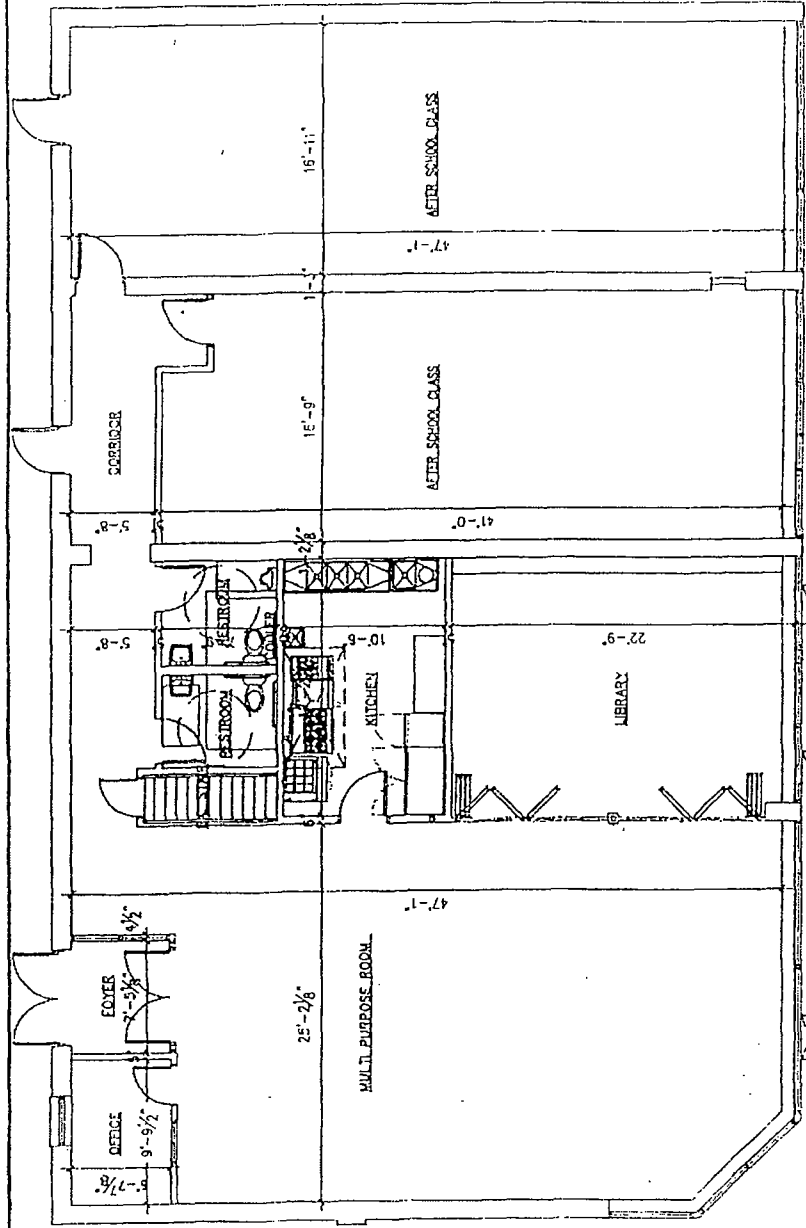
- CLASSROOM = 1465.74 S.F. = 35.11%
- RESTROOMS = 197.28 S.F. = 2.67%
- OFFICE AREA = 55.14 S.F. = 1.62%
- STAIRS AREA = 27.65 S.F. = 0.69%
- MULTIPURPOSE ROOM = 1379.89 S.F. = 34.31%
- FOYER/CORRIDOR AREA = 316.07 S.F. = 7.86%
- KITCHEN AREA = 180.69 S.F. = 4.50%
- WALLS = 475.89 S.F. = 11.85%

TOTAL AREA = 4095.93 S.F. = 100%

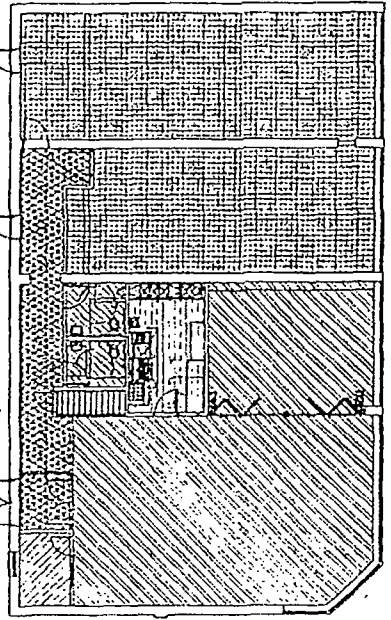
6/21/2022
 DATE



DESIGN FIRM LICENSE
 No. 184 007749-90001



1 PROPOSED FLOOR PLAN
 AI-3 SCALE 1/8"=1'-0"



2 AREAS FLOOR PLAN
 AI-3 SCALE 1/16"=1'-0"

DATE	11/13/2021
BY	JMS
CHECKED BY	JMS
SCALE	AS SHOWN
PROJECT NO.	1000 SOUTH OXFORD