



City of Chicago



O2019-8483

Office of the City Clerk

Document Tracking Sheet

Meeting Date: 11/13/2019
Sponsor(s): Misc. Transmittal
Type: Ordinance
Title: Zoning Reclassification Map No. 9-G at 3757 N. Sheffield Ave - App No. 20250T1
Committee(s) Assignment: Committee on Zoning, Landmarks and Building Standards

Final for Publication

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B3-2, Community Shopping District symbols and indications as shown on Map No. 9-G in an area bound by

A line 100 feet south of and parallel to West Grace Street; the public alley next east of and parallel to North Sheffield Avenue; a line 125 feet south of and parallel to West Grace Street; And North Sheffield Avenue

to those of a B2-3, Neighborhood Mixed-Use District.

SECTION 2. This ordinance takes effect after its passage and due publication.

Common Address of Property: 3757 North Sheffield Avenue

Type-1 ZONING MAP AMENDMENT: NARRATIVE & PLANS

3757 North Sheffield Avenue – B3-2 to B2-3

The applicant wishes to construct a 4-story, 10 dwelling unit addition to a previously approved 4-story, 40 dwelling unit building (3763 North Sheffield Avenue) in order to combine the 2 zoning lots into 1 zoning lot. The reason for rezoning is to comply with density bulk requirements and establish a qualifying transit-served location to accommodate the Minimum Lot Area Reduction and the reduction in on-site parking. 3 on-site parking stalls will be provided.

FAR	2.99
Building Area	9,000 Square Feet
Density (MLA)	300.3 Square Feet
Lot Area	3,003 Square Feet
Building Height	48 Feet 0 Inches
Front Setback	0 Feet 0 Inches
Rear Setback	30 Feet 0 Inches
North Side Setback	0 Feet 0 Inches
South Side Setback	0 Feet 0 Inches
Parking	3 Parking Stalls*

*The applicant will seek relief, as necessary, for any additional required on-site parking.



2RZ ARCHITECTS
 1000 W. 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1100
 FAX: 303.733.1101

MCZ development
 SHEFFIELD APARTMENTS BUILDING ADDITION

16' PUBLIC ALLEY

DATE	DESCRIPTION
10/11/17	ISSUED FOR PERMIT
10/11/17	ISSUED FOR PERMIT
10/11/17	ISSUED FOR PERMIT

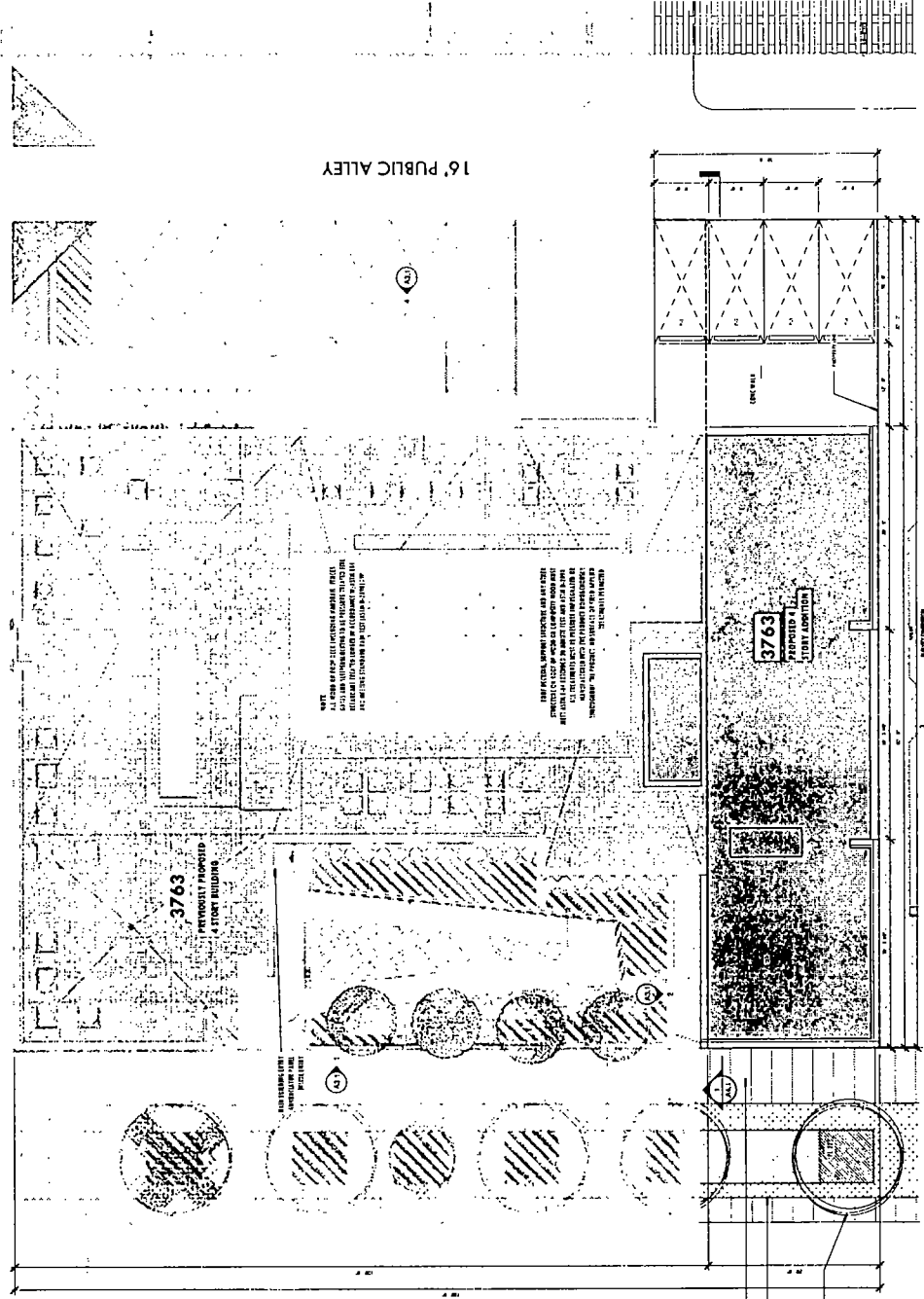


Project Name: MCZ development
 Project No.: 1702
 Drawing No.: 18-114
 Date: 10/11/17

A01.1.0

GRACE ST

SHEFFIELD AVE

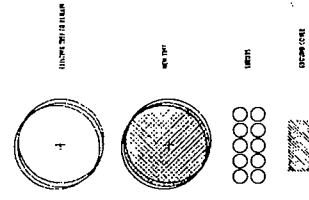


NOTE: ALL PLANTING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF DENVER LANDSCAPE PLAN. PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF DENVER LANDSCAPE PLAN. PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF DENVER LANDSCAPE PLAN.

NO.	DESCRIPTION	DATE	BY	CHECKED
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2	ISSUED FOR PERMIT	10/11/17	DJH	DJH
3	ISSUED FOR PERMIT	10/11/17	DJH	DJH



PHOTO REFERENCE

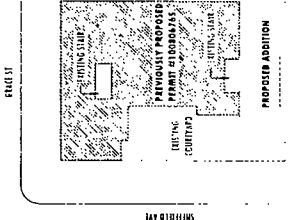


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 3. PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF DENVER LANDSCAPE PLAN.

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2RZ ARCHITECTS
 1220 N. LAKE ST. SUITE 100
 CHICAGO, IL 60610
 TEL: 312.644.4444
 WWW: 2RZARCH.COM



PROPOSED ADDITION

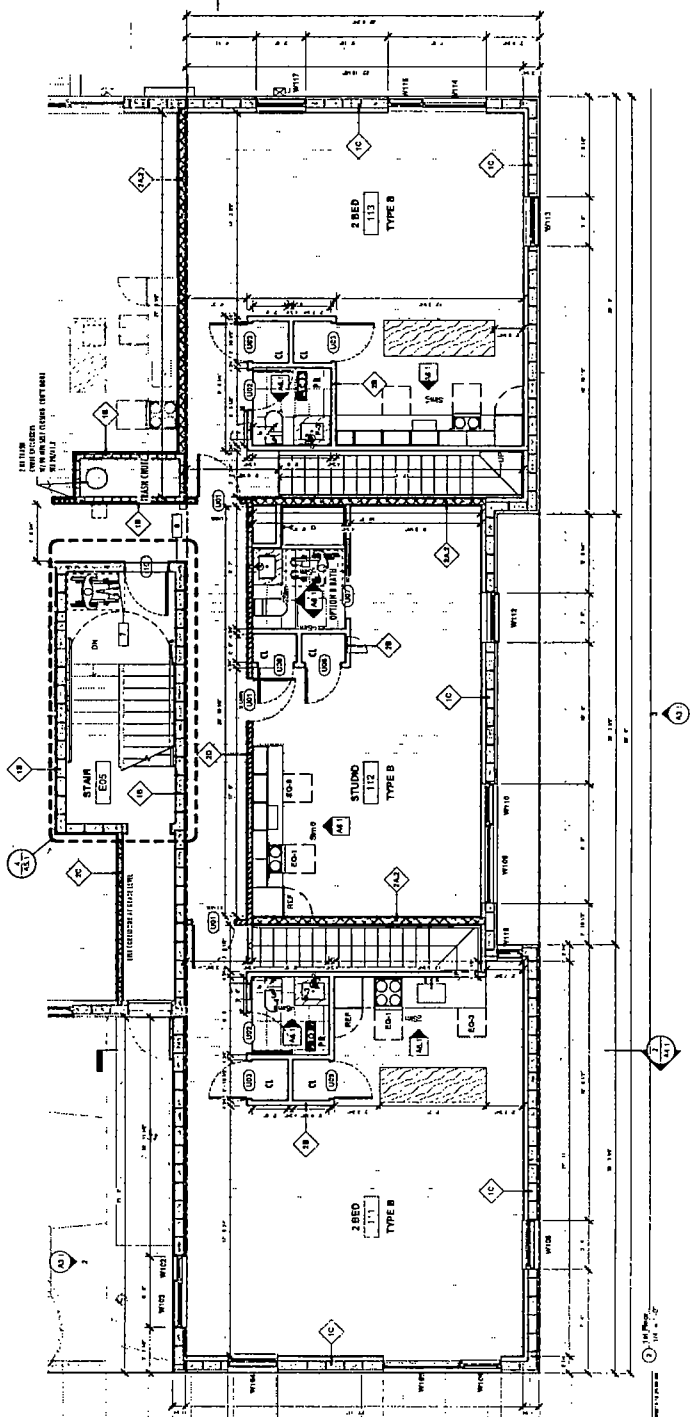
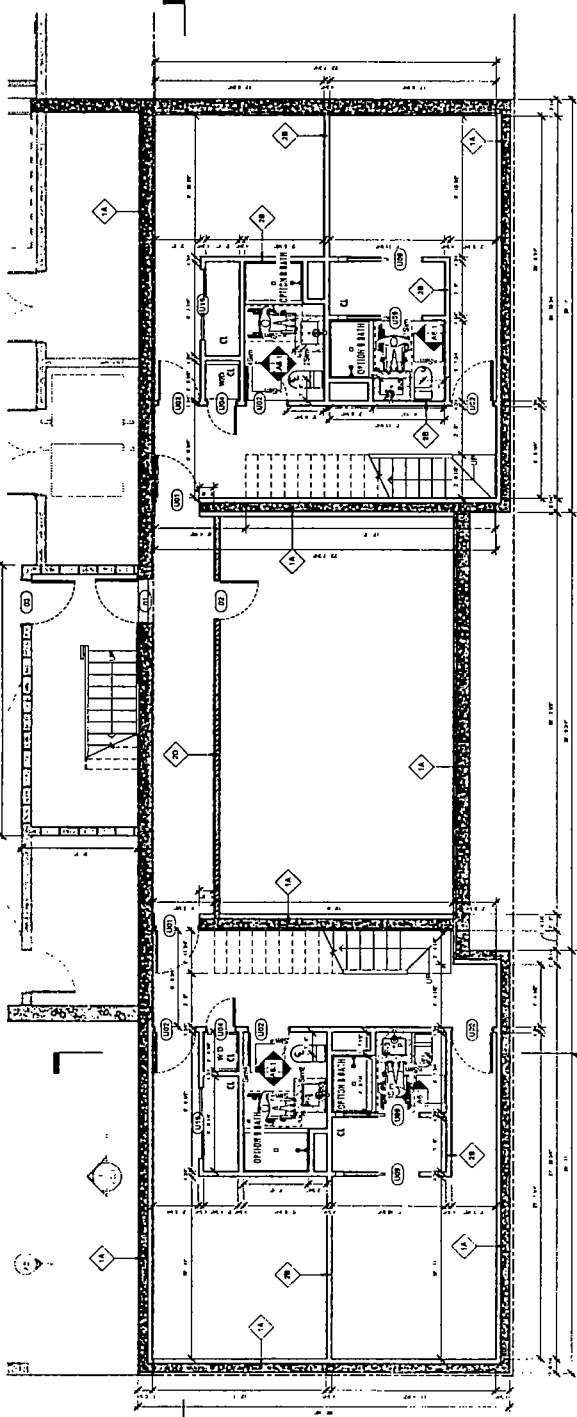
MCZ development SHEPHERD APARTMENTS BUILDING ADDITION

CHICAGO, ILLINOIS 60610

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Basement & 1st Floor Plan
 Project No. 1702
 Date: 08/13/17
 Drawn By: JRM
 Checked By: ASK
 A2.0

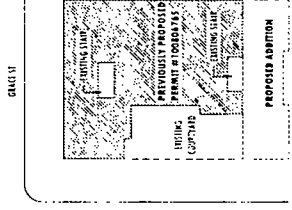


- 1. ALL WALLS TO BE CONCRETE OR BRICK
- 2. ALL FLOORS TO BE CONCRETE ON GRADE OR G.I. DECK
- 3. ALL CEILING TO BE CONCRETE OR G.I. DECK
- 4. ALL ROOFING TO BE ASPH/FLY
- 5. ALL EXTERIOR FINISHES TO BE CONCRETE OR BRICK
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- 7. ALL GLAZING TO BE ALUMINUM FRAME GLASS
- 8. ALL MECHANICAL AND ELECTRICAL TO BE INSTALLED ACCORDING TO ALL APPLICABLE CODES
- 9. ALL SANITARY AND PLUMBING TO BE INSTALLED ACCORDING TO ALL APPLICABLE CODES
- 10. ALL STRUCTURAL STEEL TO BE A36
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- 12. ALL STRUCTURAL MASONRY TO BE CMU
- 13. ALL STRUCTURAL WOOD TO BE SYP
- 14. ALL STRUCTURAL METAL TO BE A36
- 15. ALL STRUCTURAL FASTENERS TO BE GALV. STEEL
- 16. ALL STRUCTURAL CONNECTIONS TO BE WELDED
- 17. ALL STRUCTURAL BEAMS TO BE W8
- 18. ALL STRUCTURAL COLUMNS TO BE 12X12
- 19. ALL STRUCTURAL WALLS TO BE 12" CMU
- 20. ALL STRUCTURAL FLOORS TO BE 8" G.I. DECK
- 21. ALL STRUCTURAL ROOFING TO BE 4" G.I. DECK
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2RZ ARCHITECTURE
 2024 N. LAUREL ST. CHICAGO, IL 60647
 P: 773.384.4000 F: 773.384.4424



MCZ development

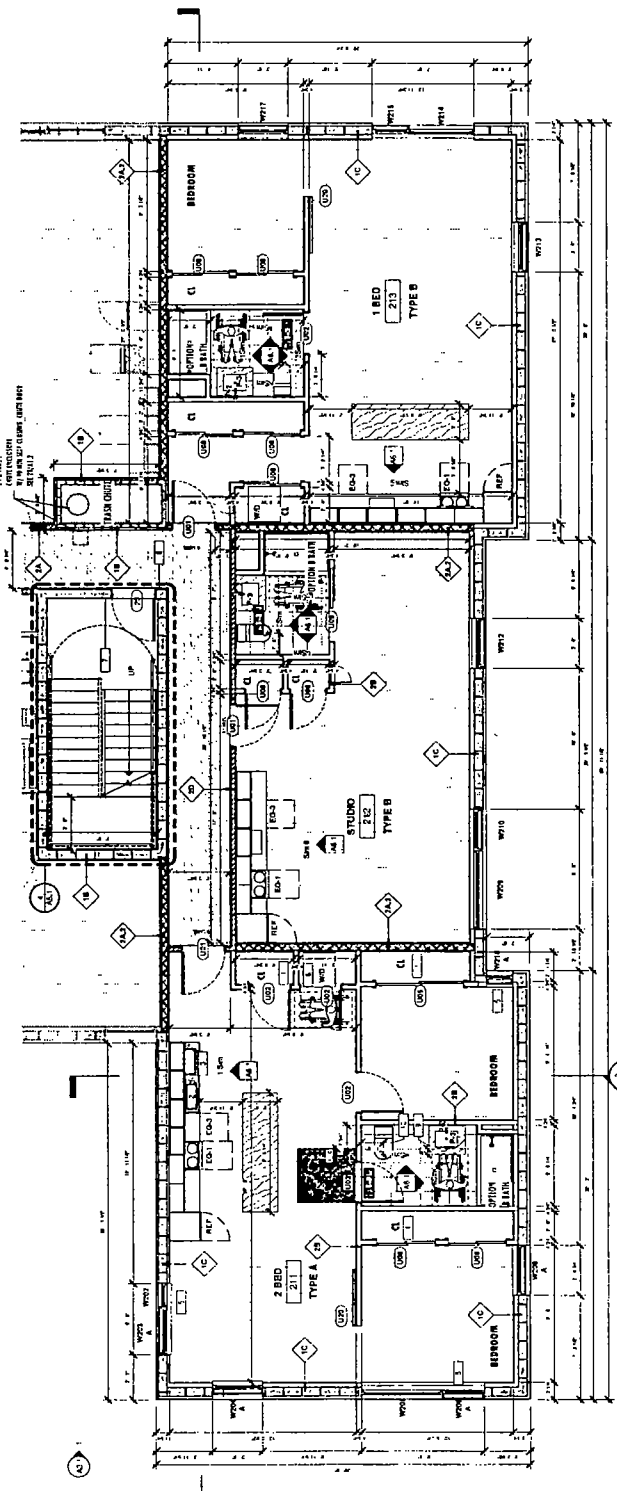
SHEFFIELD APARTMENTS BUILDING ADDITION
 3723 N. LAUREL ST. CHICAGO, ILLINOIS 60647

NO. OF UNITS	11
TOTAL SQ. FT.	11,110
TOTAL GROSS SQ. FT.	11,110
TOTAL NET SQ. FT.	11,110
TOTAL GROSS SQ. FT. PER UNIT	1,010
TOTAL NET SQ. FT. PER UNIT	1,010

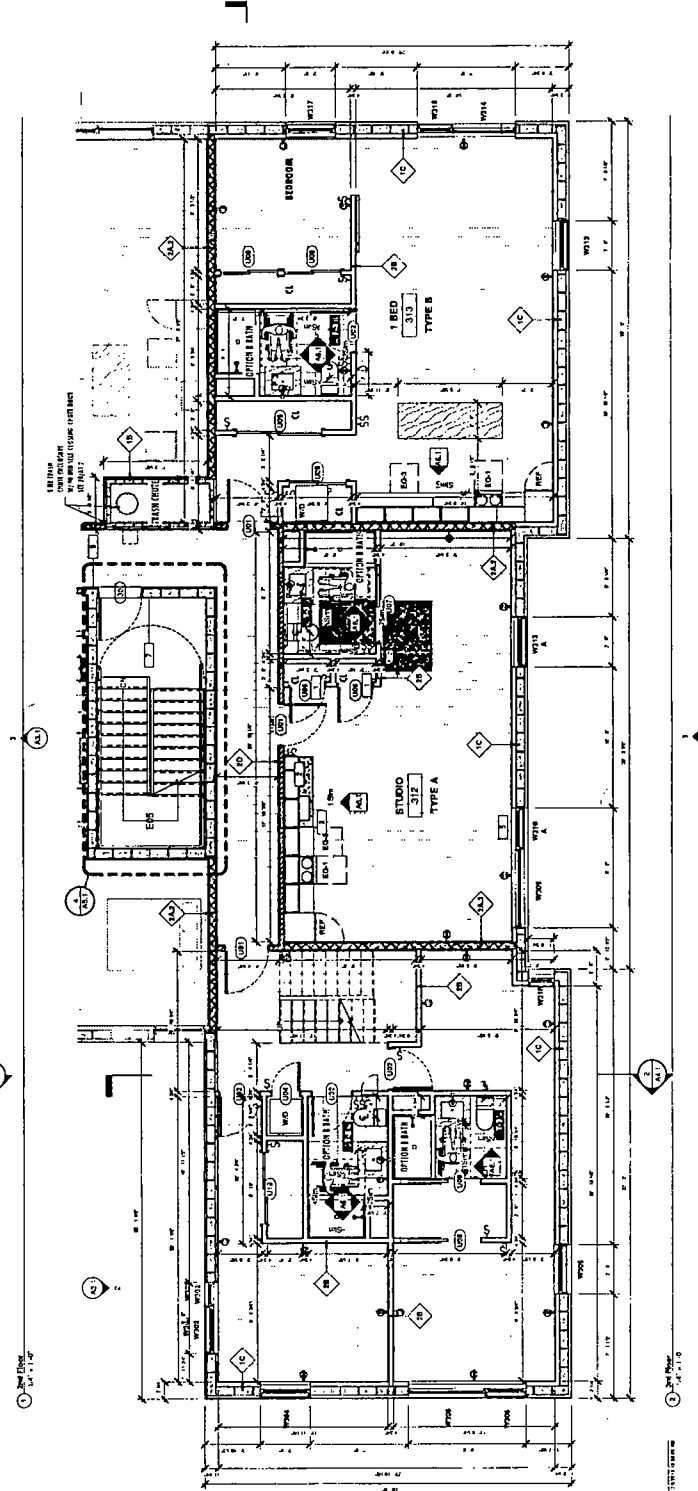


2nd & 3rd Floor Plan
 Project No. 1700
 Drawn By: [Signature]
 Date: 08/14/17
 Scale: As Indicated
A2.1

- LEGEND**
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- ACCOMMODATION BY UNIT**
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 96. ONE (1) 1-BED TYPE B UNIT
 97. ONE (1) 2-BED TYPE A UNIT
 98. ONE (1) STUDIO TYPE B UNIT
 99. ONE (1) 1-BED TYPE B UNIT
 100. ONE (1) 2-BED TYPE A UNIT



1. FINISH FLOOR

2. FINISH FLOOR

3. FINISH FLOOR

4. FINISH FLOOR

5. FINISH FLOOR

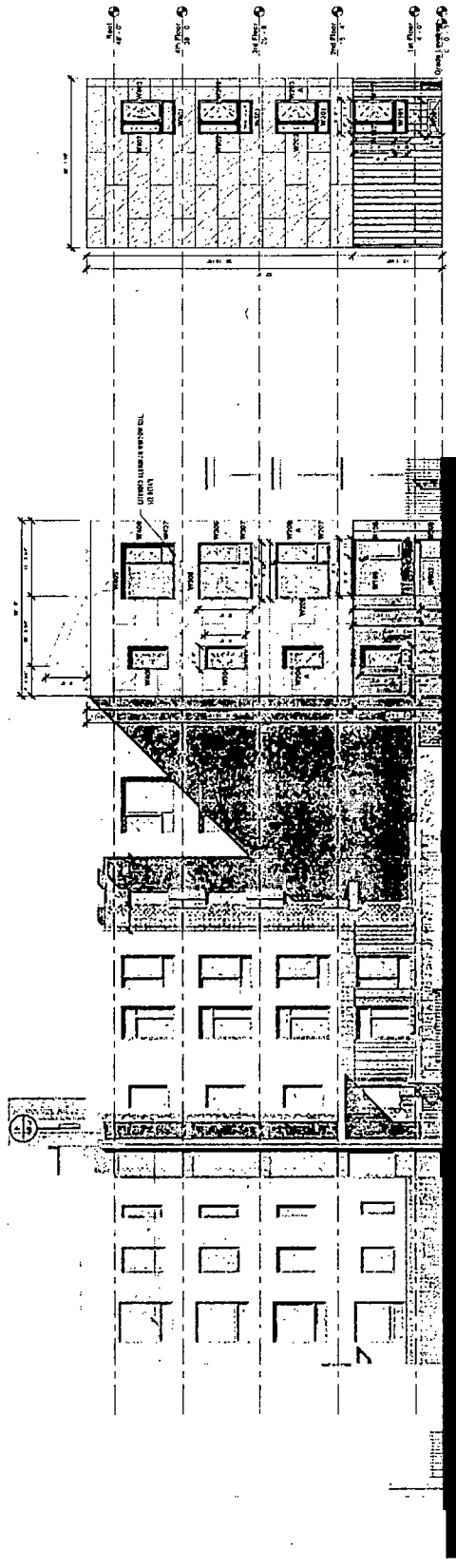
6. FINISH FLOOR

7. FINISH FLOOR

8. FINISH FLOOR

9. FINISH FLOOR

10. FINISH FLOOR



1. South Elevation

2. North Elevation



MCZ development
SHEPHERD APARTMENTS BUILDING ADDITION

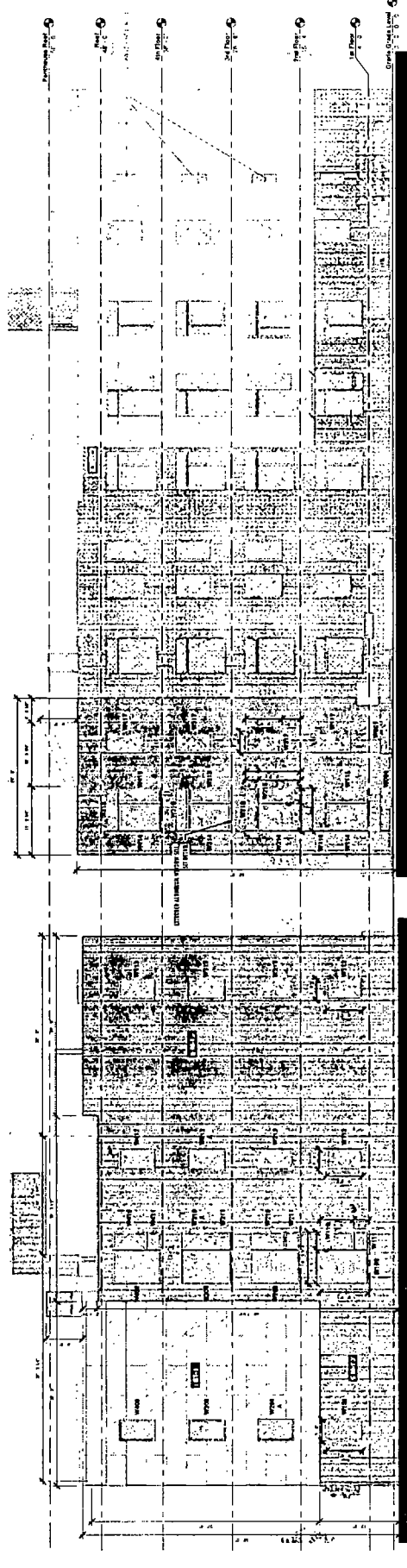
200 SHEPHERD APARTMENTS BUILDING ADDITION

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	10/15/10
2	ISSUED FOR PERMITS	10/15/10
3	ISSUED FOR PERMITS	10/15/10
4	ISSUED FOR PERMITS	10/15/10
5	ISSUED FOR PERMITS	10/15/10
6	ISSUED FOR PERMITS	10/15/10
7	ISSUED FOR PERMITS	10/15/10
8	ISSUED FOR PERMITS	10/15/10
9	ISSUED FOR PERMITS	10/15/10
10	ISSUED FOR PERMITS	10/15/10



Project No. 1001
Sheet No. A3.1
Date: 10/15/10

A3.1



3. Floor Plan

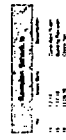
4. Section



100 N. MICHIGAN, SUITE 1000
 CHICAGO, ILLINOIS 60601
 TEL: 312.427.4200
 FAX: 312.427.4201

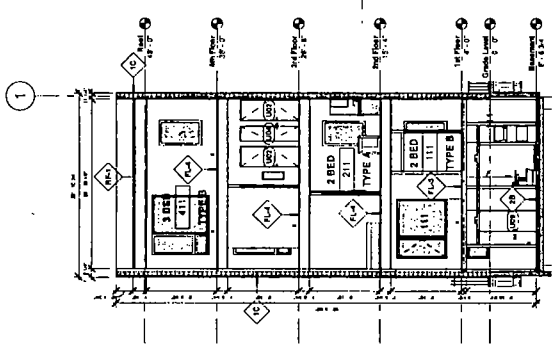
MCZ
 development
 SHEFFIELD
 APARTMENTS BUILDING
 ADDITION

2025 SHEFFIELD
 CHICAGO, ILLINOIS 60611

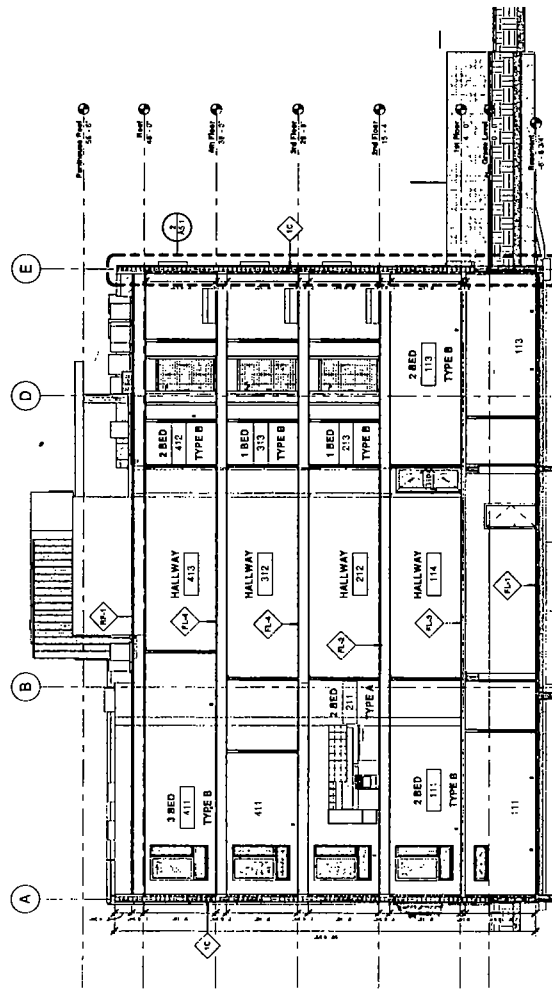


Project No. 100-117
 Building Sections
 Date: 08/11/11
 Drawn By: JMM
 App. Scale: 1/8" = 1'-0"

A4.1



1 Building Section 1
 1/8" = 1'-0"



2 Building Section 2
 1/8" = 1'-0"