



City of Chicago



O2014-2442

Office of the City Clerk

Document Tracking Sheet

| | |
|---------------------------------|--|
| Meeting Date: | 4/2/2014 |
| Sponsor(s): | Burnett (27) |
| Type: | Ordinance |
| Title: | Zoning Reclassification Map No. 3-F at 1034 N Wells St |
| Committee(s) Assignment: | Committee on Zoning, Landmarks and Building Standards |

ORDINANCE

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Institutional Planned Development Number 670 symbols and indications as shown on Map Number 3-F in the area bounded by:

West Hill Street; North Wells Street; West Oak Street; a parallel line 304.5 feet west of North Wells Street; a parallel line 370 feet north of West Oak Street; a parallel 543.61 feet west of North Wells Street; a parallel line 384.34 north of West Oak Street; a parallel line 496.46 feet west of North Wells Street; and West Hill Street ("Property")

to the designation of Institutional Planned Development No. 670, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as set forth in the Plan of Development herewith attached and made a part of thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.


Alderman Walter Burnett, Jr.

CITY OF CHICAGO

**APPLICATION FOR AN AMENDMENT TO
THE CHICAGO ZONING ORDINANCE**

1. ADDRESS of the property Applicant is seeking to rezone:
1034 N Wells St, Chicago, IL 60610
2. Ward Number that property is located in: 27th Ward
3. APPLICANT: Alderman Walter Burnett and the Public Building Commission
ADDRESS: c/o Neal & Leroy, LLC, 203 N. LaSalle, Suite 2300
CITY Chicago STATE Illinois ZIP CODE 60601
PHONE: 312.641.7144 CONTACT PERSON Meg George
4. Is the applicant the owner of the property? YES _____ NO X
If the applicant is not the owner of the property, please provide the following information regarding the owner and attach written authorization from the owner allowing the application to proceed.
OWNER Chicago Board of Education
ADDRESS 125 S. Clark Street
CITY Chicago STATE IL ZIP CODE 60603
PHONE (773)553-1600 CONTACT PERSON Liza Balistreri
5. If the Applicant/Owner of the property has obtained a lawyer as their representative for the rezoning, please provide the following information:
ATTORNEY Meg George, Neal and Leroy, LLC
ADDRESS 203 N. LaSalle Street, Suite 2300 CITY Chicago
CITY Chicago STATE IL ZIP CODE 60601
PHONE (312) 641-7144 FAX (312) 641-5137

6. If the applicant is a corporation please provide the names of all shareholders as disclosed on the Economic Disclosure Statements.
Neither the applicant nor owner is a corporation.

7. On what date did the owner acquire legal title to the subject property?
1999

8. Has the present owner previously rezoned this property? If yes, when?
No it has not.

9. Present Zoning: PD 670 Proposed Zoning: Planned Development 670, As Amended

10. Lot size in square feet (or dimensions?) 178,215 SF

11. Current Use of the Property existing high school

12. Reason for rezoning the property To allow for an addition to the existing Walter Payton High School

13. Describe the proposed use of the Property after the rezoning. Indicate the number of dwelling units; number of parking spaces; approximate square footage of any commercial space; and height of the proposed building (BE SPECIFIC)


The proposed 48,772 SF addition will be added to the existing 173,182 SF school.

14. On May 14, 2007, The Chicago City Council passed the Affordable Requirements Ordinance (ARO) that requires on-site affordable housing units or a financial contribution if residential housing projects receive a zoning change under certain circumstances. Based on the lot size of the project in question and the proposed zoning classification, is this project subject to the Affordable Requirements Ordinance? (See Fact Sheet for more information)

YES _____ NO x


COUNTY OF COOK
STATE OF ILLINOIS

_____, _____, being first duly sworn, on oath deposes and states, that all of the above statements and the statements contained in the documents submitted herewith are true.


Alderman Walter Burnett, Jr.

Subscribed and sworn to before me this

31st day of March, 2014


Notary Public



For Office Use Only

INTRODUCED BY: _____ DATE _____

REFERRED TO:

FILE NO.: _____

WARD NO.: _____

COMMITTEE ON BUILDINGS & ZONING _____

REZONING STAFF _____

CHICAGO PLAN COMMISSION _____



Operations
125 South Clark Street, 17th Floor • Chicago, Illinois 60603
Telephone: 773/553-2900 • Fax: 773/553-4305

March 25, 2014

Ms. Patricia A. Scudiero
Zoning Administrator
City of Chicago
Department of Planning and Development
121 N. LaSalle, Room 905
Chicago, Illinois 60602

Honorable Daniel S. Solis
Chairman Zoning Committee
City of Chicago Public Schools
121 N. LaSalle
Room 203, Office 14
Chicago, Illinois 60602

Re: Consent to File Application for Planned Development Amendment 670

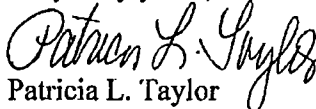
Dear Ms. Scudiero and Chairman Solis:

The Public Building Commission ("PBC") is constructing an addition to the existing Walter Payton High School, located at 1034 N. Wells Street, on behalf of the Chicago Board of Education ("BOE"). This property is located within existing Planned Development No. 670. BOE acquired this property in 1999.

The PBC desires to file an application to amend Planned Development No. 670 to allow for this addition. I hereby authorize the PBC to file this Application.

Thank you for your consideration of this matter.

Very truly yours,


Patricia L. Taylor

NOTICE OF FILING OF APPLICATION FOR REZONING

APPLICANT: Alderman Walter Burnett and the Public Building Commission of Chicago
PROPERTY: 1034 N. Wells Street
PROJECT: Payton High School Addition
DATE: April 2, 2014

Dear Sir or Madam:

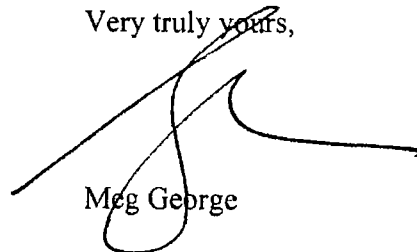
In accordance with the requirements of Section 17-13-0107 of the Municipal Code of the City of Chicago, please be informed that on or about April 2, 2014, Alderman Walter Burnett and the Public Building Commission of Chicago ("PBC"), will file an application to amend the existing Planned Development for the property located at 1034 N. Wells Street, from its existing Planned Development No. 670 designation to Institutional Planned Development No. 670, As Amended. The purpose of this amendment is to allow the Public Building Commission of Chicago to construct an addition to the existing Walter Payton High School.

The property is currently owned by the Chicago Board of Education. The Public Building Commission will be constructing the addition on behalf of the Chicago Board of Education.

The Public Building Commission is located in Room 200 of the Daley Center, 50 West Washington, Chicago, Illinois 60602. Questions regarding this school project or the rezoning of the property may be addressed to Meg George at Neal & Leroy, LLC 203 North LaSalle Street, Suite 2300, Chicago, Illinois 60601 (312) 641-7144.

PLEASE NOTE: THE APPLICANT IS NOT SEEKING TO REZONE YOUR PROPERTY. THIS NOTICE IS BEING SENT TO YOU BECAUSE YOU OWN PROPERTY WITHIN 250 FEET OF THE BOUNDARIES OF THE NEW PROPOSED ADDITION.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Meg George', with a long horizontal stroke extending to the right.

Meg George

AFFIDAVIT

Chairman Solis
Committee on Zoning
Room 304, City Hall
121 North LaSalle Street
Chicago, Illinois 60602

Martin Cabrera, Chairman
Chicago Plan Commission
Room 1000, City Hall
121 North LaSalle Street
Chicago, Illinois 60602

APPLICANTS: Alderman Walter Burnett and the Public Building Commission of Chicago
Daley Center, Room 200, Chicago, Illinois 60602

RE: Walter Payton High School Addition

Dear Chairpersons:

The undersigned, Meg George, an attorney for one of the Applicants, the Public Building Commission of Chicago, being first duly sworn on oath, deposes and states the following:

That the undersigned certifies that she has complied with the requirements of Section 17-13-0107 of the Chicago Zoning Ordinance of the City of Chicago Municipal Code by sending the attached letter by United States Postal Service First Class Mail to the owners of all property within 250 feet in each direction of the property to be rezoned, as determined by the most recent Cook County tax records of Cook County, the address of which is commonly known as 1034 N. Wells Street, exclusive of public roads, streets, alleys and other public ways, or a total distance limited to 400 feet; and that the notice contained the common street address of the subject property, a description of the nature, scope and purpose of the application or proposal; the name and address of the Applicant; the date the Applicant intends to file the application to rezone the Property i.e. on April 4, 2014; that the Applicant has made a bona fide effort to determine the addresses of the parties to be notified under Section 17-13-107 and 17-13-0604-B of the Chicago Zoning Ordinance, that the Applicant certifies that the accompanying list of names and addresses of surrounding properties located within 250 feet of the subject property (excluding public roads, streets and alleys), is a complete list containing the names and last known addresses of the owners of the property required to be served, and that the Applicant has furnished, in addition, a list of the persons so served.

By: _____

Meg George, Attorney

Subscribed and sworn to before me

this 27th day of March 2014.

Hillie M. Sempritt
Notary Public



INSTITUTIONAL PLANNED DEVELOPMENT STATEMENTS

1. The area delineated herein as Planned Development Number 670, As Amended, ("Planned Development") consists of approximately 178, 215 SF net square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned by the Chicago Board of Education. Alderman Walter Burnett and the Public Building Commission are co-applicants for this amendment (the "Applicants"). The Public Building Commission is constructing the school on behalf of the Board of Education.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicants, its successors and assigns and, if different than the Applicants, the legal title holders and any ground lessors. All rights granted hereunder to the Applicants shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicants, the legal title holder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicants or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicants or its successors, assign or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Plans.

Ingress or egress shall be pursuant to the Plans and may be subject to the review and approval of the Departments of Planning and Development. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II approval, the submitted plans must be approved by the Department of Transportation.

4. This Plan of Development consists of 15 Statements: a Bulk Regulations Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; Site Plan; Landscape Plan; Building Elevations (North, South, East and West) dated April 2, 2014 submitted herein. Full-sized copies of the Site Plan, Landscape Plan and

| | |
|------------------|----------------------------|
| Applicants: | Public Building Commission |
| Address: | 1034 N. Wells Street |
| Introduced: | April 2, 2014 |
| Plan Commission: | TBD |

Building Elevations are on file with the Department of Planning and Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development Ordinance and the Zoning Ordinance, this Planned Development Ordinance shall control.

5. The following uses are allowed in the area delineated herein as an Institutional Planned Development: educational and recreational facilities, accessory parking and related uses incidental thereto.
6. On-Premise signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-Premise signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a Net Site Area of 178,215 square feet.
9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review Fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicants and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
11. The Applicants shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Environment and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.

Applicants: Public Building Commission
Address: 1034 N. Wells Street
Introduced: April 2, 2014
Plan Commission: TBD

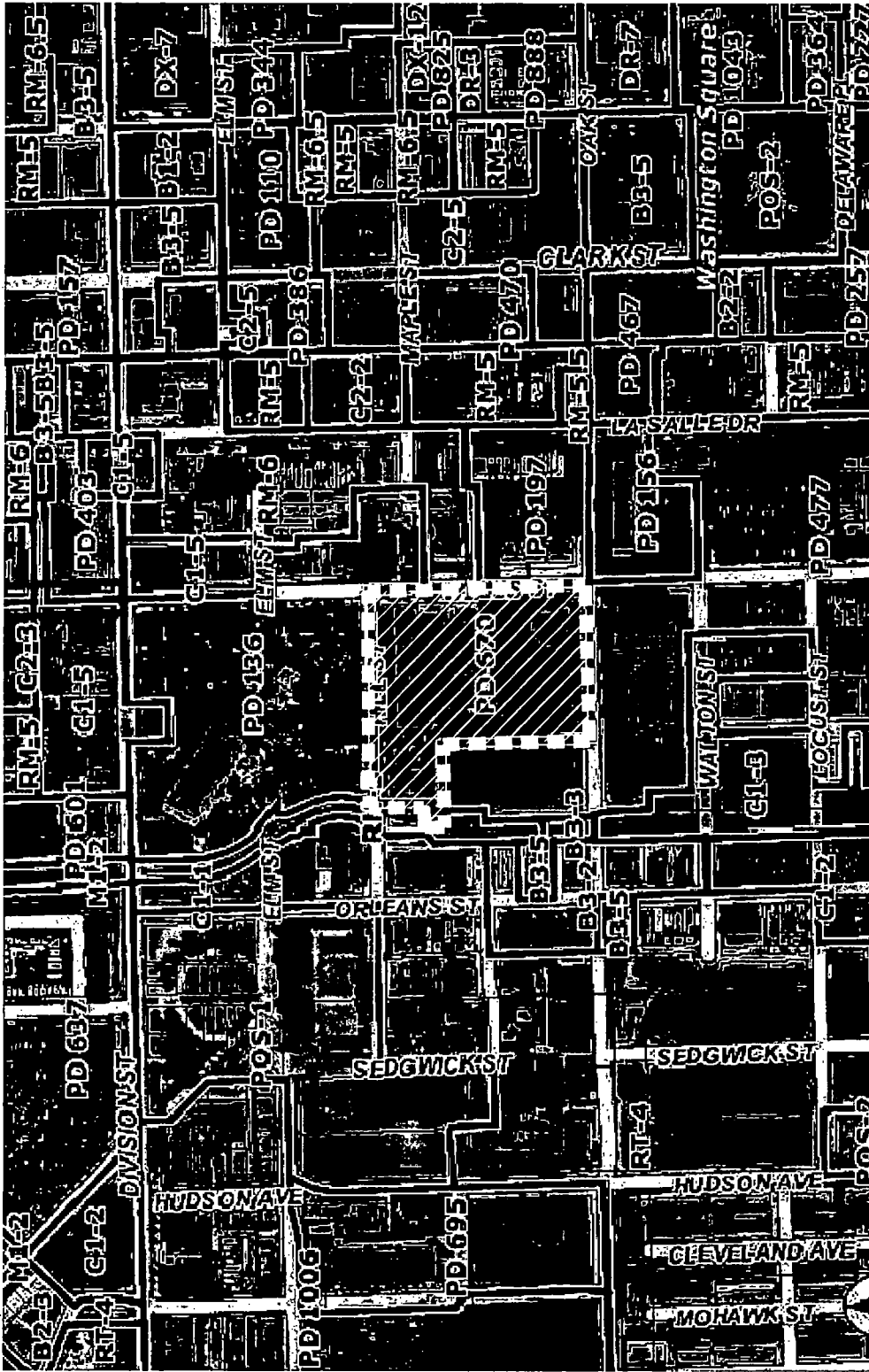
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicants, its successors and assigns and, if different than the Applicants, the legal title holders and any ground lessors.
13. The Applicants acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicants acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources.
15. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning and Development shall initiate a Zoning Map Amendment to rezone the property to RM-5.

Applicants: Public Building Commission
Address: 1034 N. Wells Street
Introduced: April 2, 2014
Plan Commission: TBD

INSTITUTIONAL PLANNED DEVELOPMENT
BULK REGULATION AND DATA TABLE

| | |
|--|---------------|
| Gross Site Area: | 228,000 SF |
| Net Site Area: | 178,215 SF |
| Maximum Floor Area Ratio: | 1.0 |
| Minimum Number of Off-Street Loading Spaces: | 60* |
| Minimum Number of Off-Street Parking Spaces: | 38 |
| Maximum Building Height: | 75' |
| Minimum Required Setback: | Per Site Plan |

* Spaces are provided at off-site lots



NOT TO SCALE



PROJECT SITE

EXISTING ZONING MAP

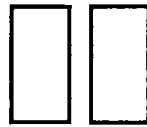
APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO
 ADDRESS: 1034 N. WELLS STREET
 CHICAGO, IL 60610

AMENDMENT TO
 INSTITUTIONAL PLANNED DEVELOPMENT #670
 WALTER PAYTON COLLEGE PREPARATORY H.S. ANNEX

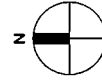
DATE: APRIL 2, 2014

SMING-A
 Survey Mapping & Architecture
 Chicago, IL

1034 N. Wells Street
 Chicago, IL 60610
 Tel: (773) 327-1100



LAND USE MAP



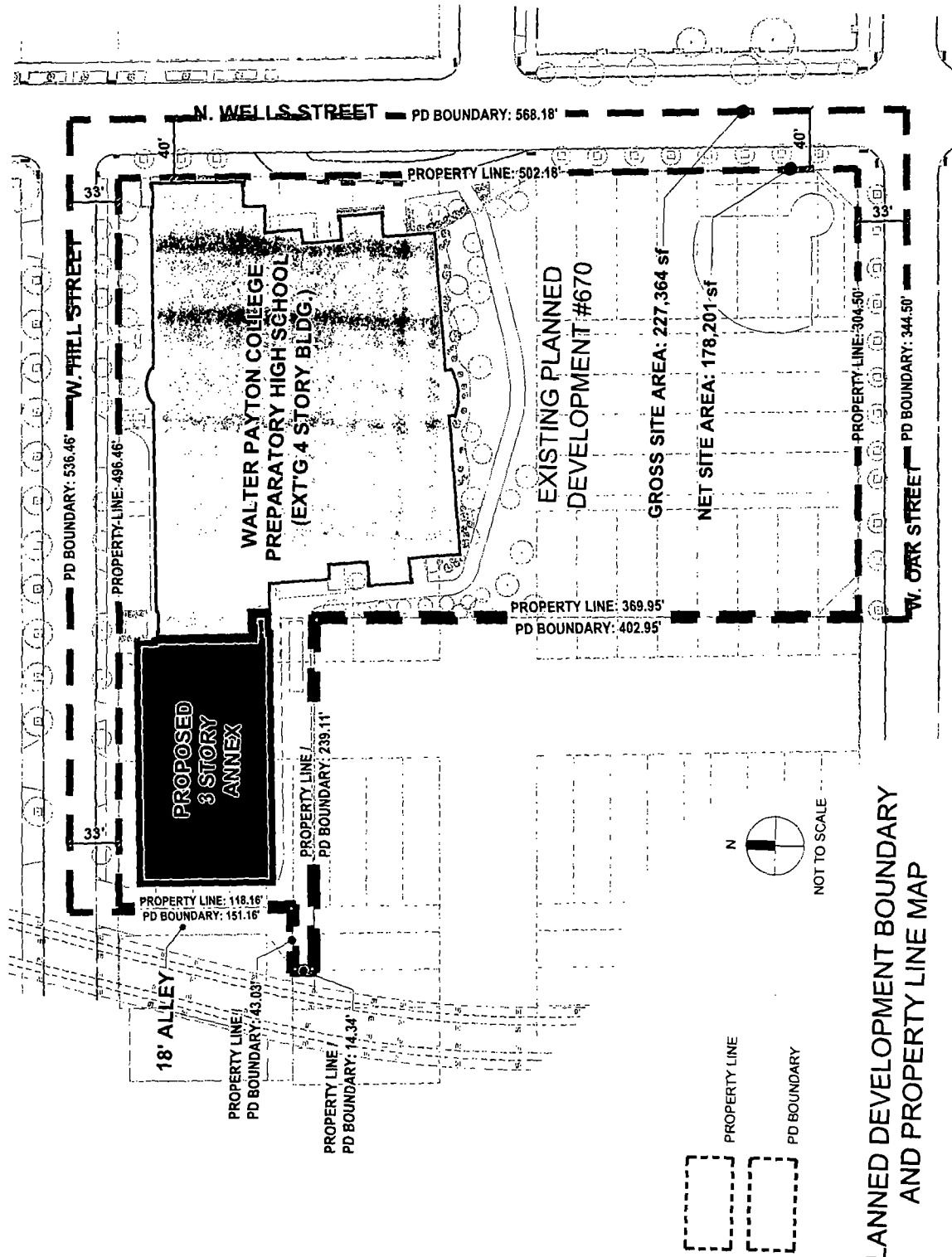
NOT TO SCALE

APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO
 ADDRESS: 1034 N. WELLS STREET
 CHICAGO, IL 60610

AMENDMENT TO
 INSTITUTIONAL PLANNED DEVELOPMENT #670
 WALTER PAYTON COLLEGE PREPARATORY H.S. ANNEX

DATE: APRIL 2, 2014

SMNG-A
 115 N. LaSalle Street
 Chicago, IL 60610
 TEL: 312.467.1710



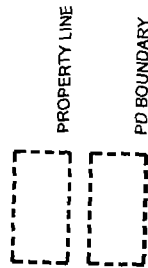
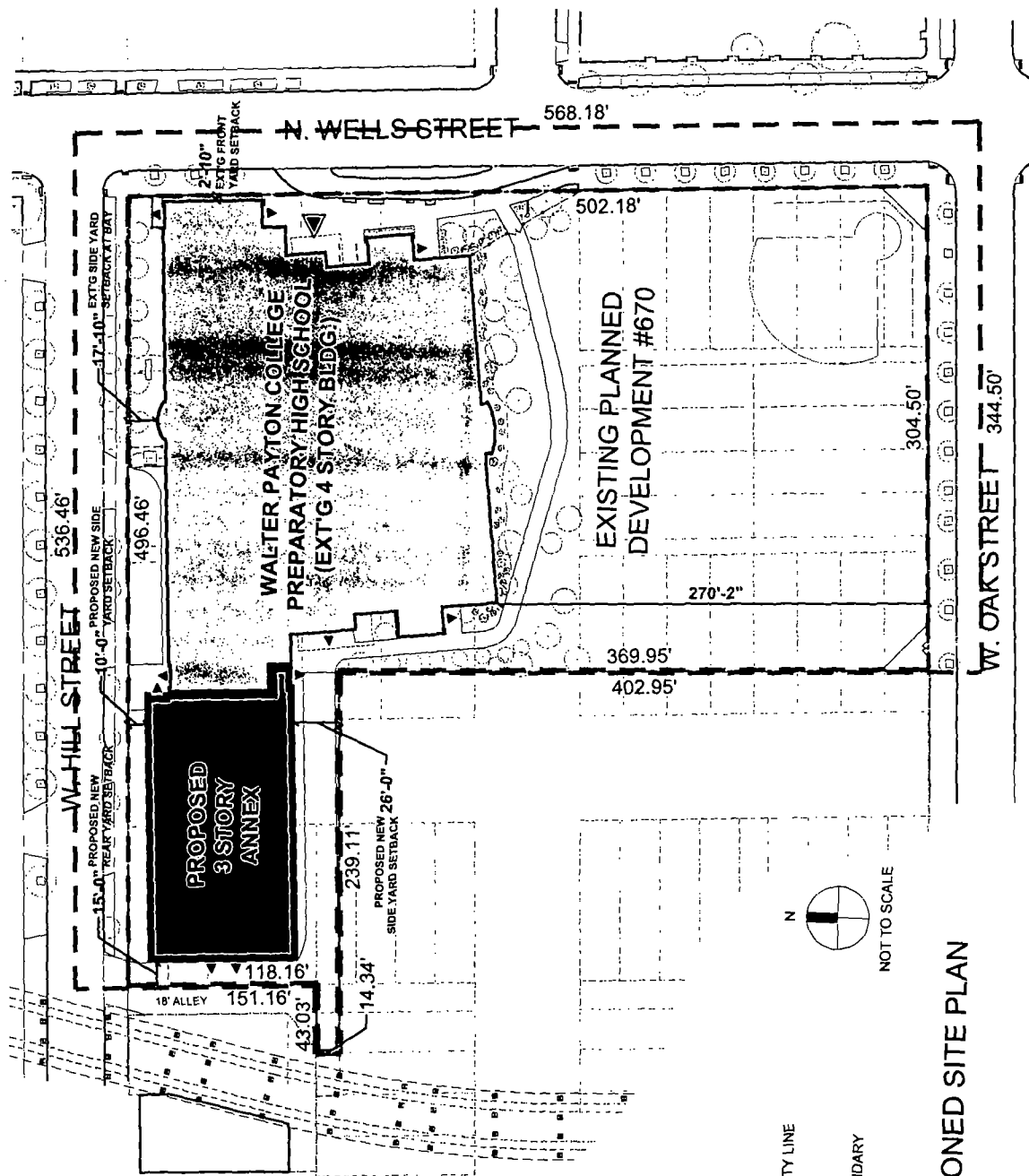
SMNG-A
 Surveying & Mapping, Inc.
 CHICAGO, IL

REV. 11/10/13
 111 W. MADISON ST.
 CHICAGO, IL 60601
 TEL: 312.467.1111

**AMENDMENT TO
 INSTITUTIONAL PLANNED DEVELOPMENT #670
 WALTER PAYTON COLLEGE PREPARATORY H.S. ANNEX**

DATE: APRIL 2, 2014

APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO
 ADDRESS: 1034 N. WELLS STREET
 CHICAGO, IL 60610



DIMENSIONED SITE PLAN

APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO

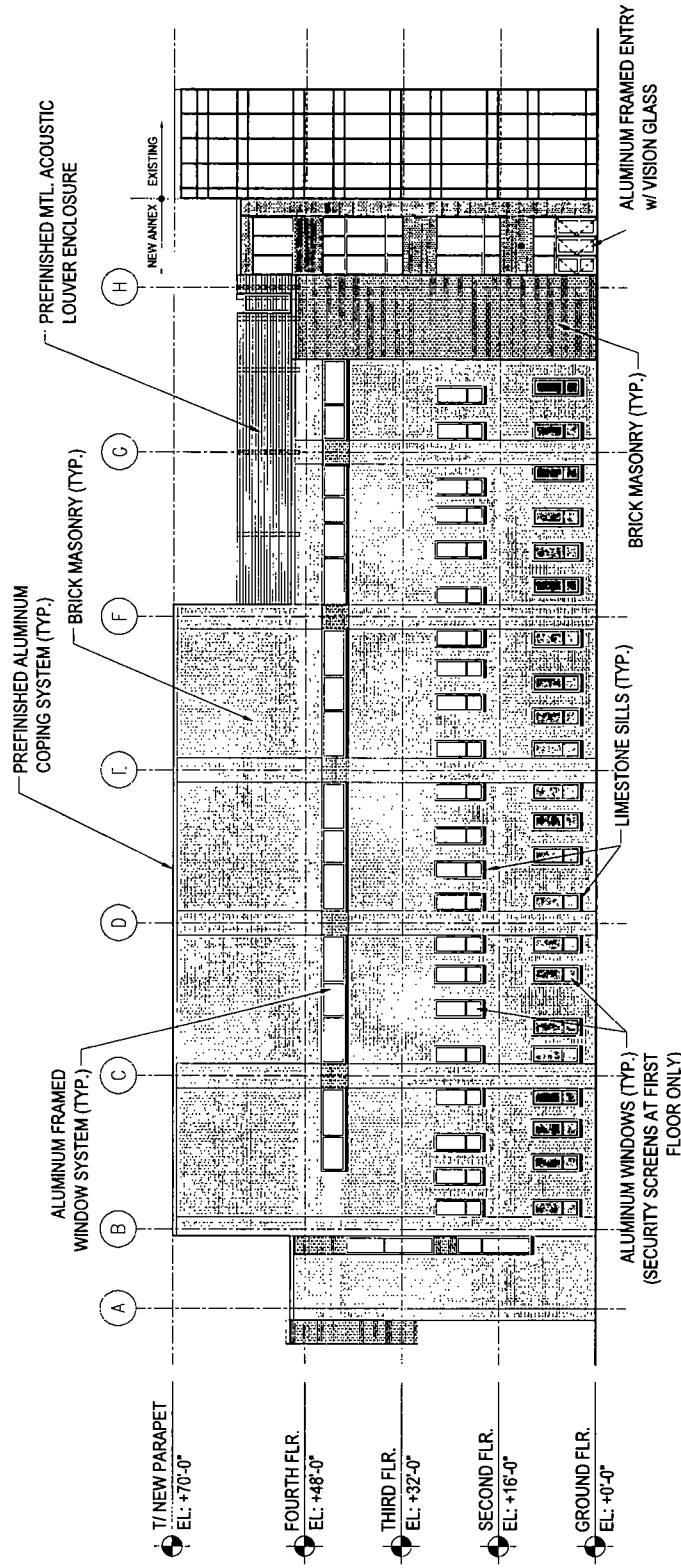
ADDRESS: 1034 N. WELLS STREET
CHICAGO, IL 60610

AMENDMENT TO
INSTITUTIONAL PLANNED DEVELOPMENT #670
WALTER PAYTON COLLEGE PREPARATORY H.S. ANNEX

DATE: APRIL 2, 2014

SMNG-A
ARCHITECTURAL & ENGINEERING
FIRM, INC.

1034 N. WELLS STREET
CHICAGO, IL 60610
TEL: 312.551.1111
FAX: 312.551.1112



SOUTH ELEVATION

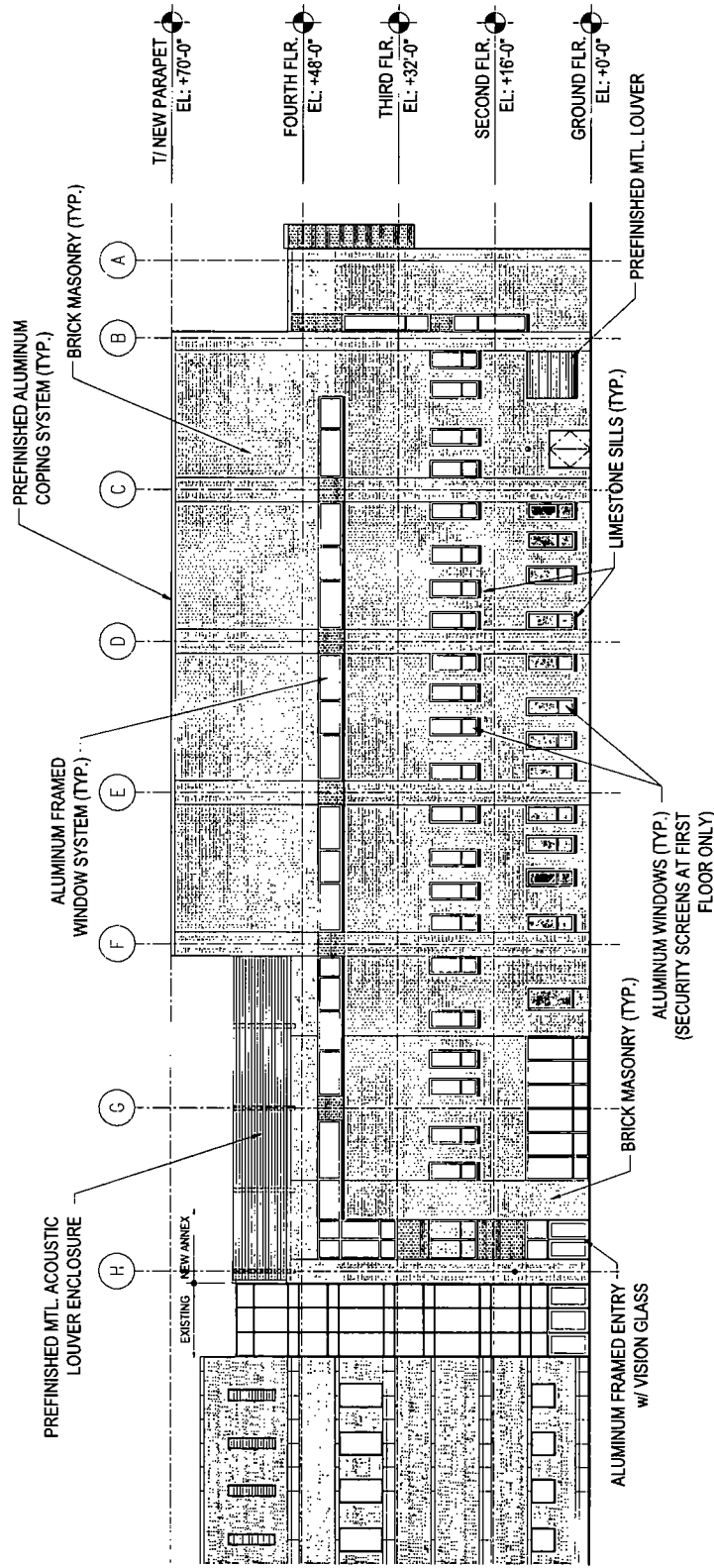
APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO
 ADDRESS: 1034 N. WELLS STREET
 CHICAGO, IL 60610

AMENDMENT TO
 INSTITUTIONAL PLANNED DEVELOPMENT #670
 WALTER PAYTON COLLEGE PREPARATORY H.S. ANNEX

DATE: APRIL 2, 2014

SMNG-A
 SCHMIDT GROUP ARCHITECTS
 CHICAGO, IL

200 N. LAUREL STREET
 CHICAGO, IL 60610
 TEL: 312.467.1100



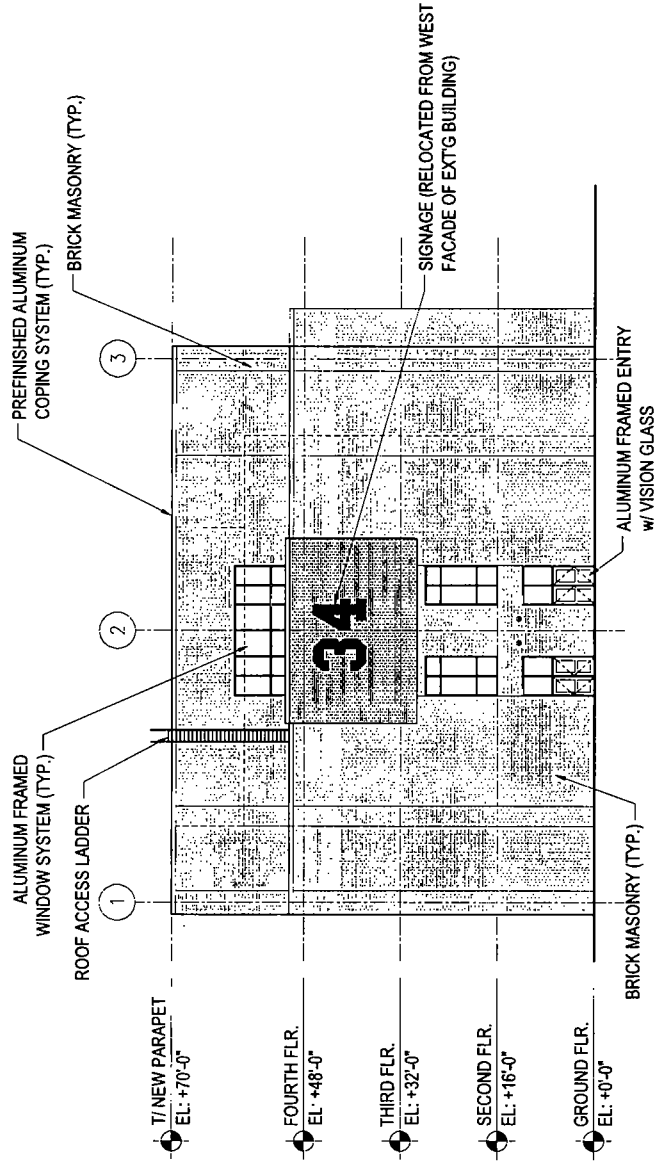
NORTH ELEVATION

APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO
 ADDRESS: 1034 N. WELLS STREET
 CHICAGO, IL 60610

AMENDMENT TO
 INSTITUTIONAL PLANNED DEVELOPMENT #670
 WALTER PAYTON COLLEGE PREPARATORY H.S. ANNEX

DATE: APRIL 2, 2014

SMNG-A
 Structural Mechanical
 Architectural
 Engineers, Inc.
 115 N. LaSalle Street
 Chicago, IL 60610
 TEL: 312.555.1234
 FAX: 312.555.1235



WEST ELEVATION

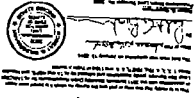
APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO
 ADDRESS: 1034 N. WELLS STREET
 CHICAGO, IL 60610

AMENDMENT TO
 INSTITUTIONAL PLANNED DEVELOPMENT #670
 WALTER PAYTON COLLEGE PREPARATORY H.S. ANNEX

DATE: APRIL 2, 2014

SMING-A
 Structural Steel Fabrication
 Chicago, IL

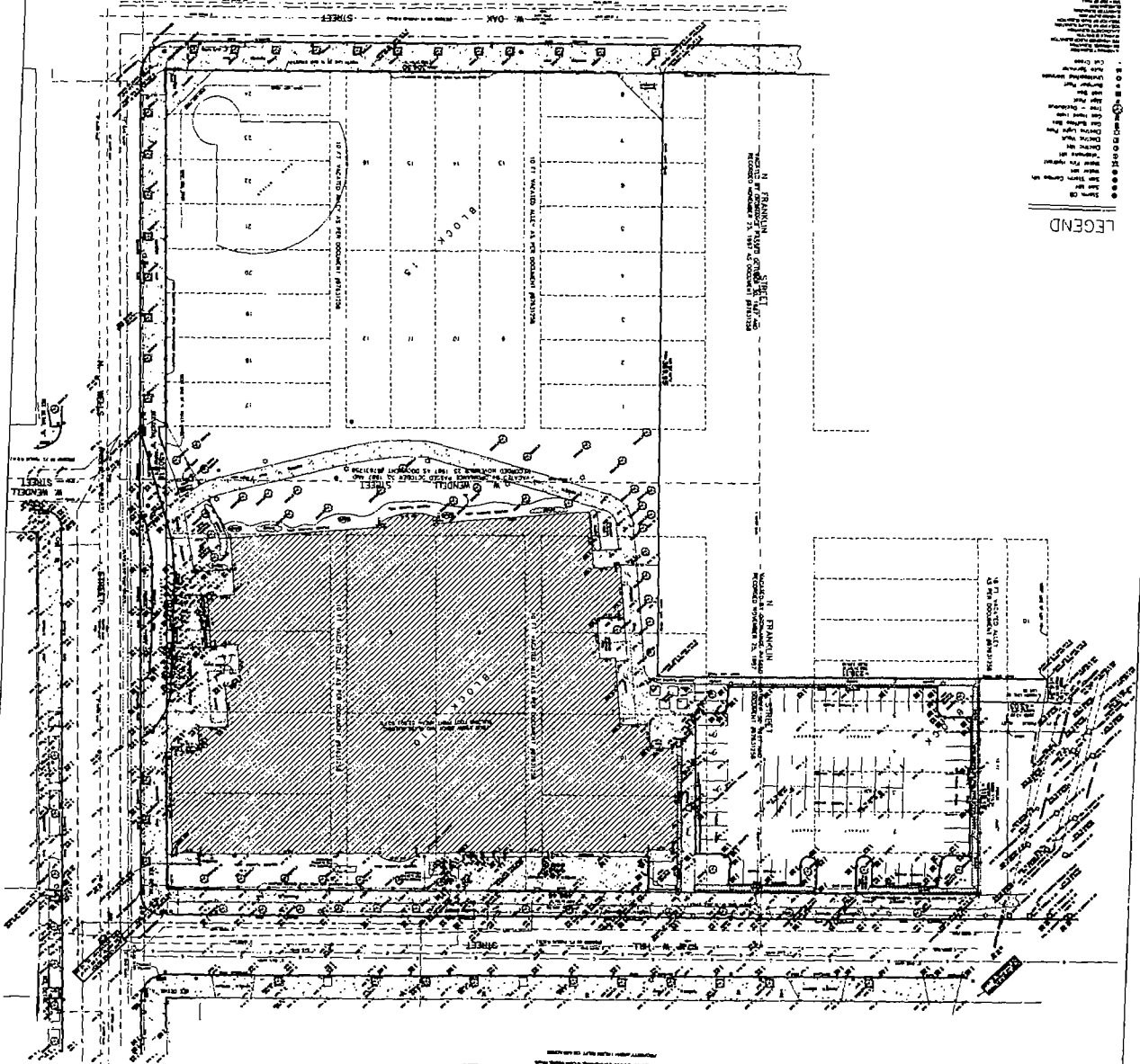
1001 N. Dearborn Street
 Chicago, IL 60610
 312.823.1515
 312.823.1717



THIS PLAN AND THE SURVEY THEREON ARE THE PROPERTY OF GREMLAY & BIEDERMANN, INC. AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF GREMLAY & BIEDERMANN, INC. ANY SUCH REPRODUCTION OR COPIING IS PROHIBITED AND WILL BE CONSIDERED AN INFRINGEMENT OF THE COPYRIGHT IN THIS PLAN AND THE SURVEY THEREON.

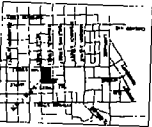
THESE PLANS AND THE SURVEY THEREON ARE THE PROPERTY OF GREMLAY & BIEDERMANN, INC. AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF GREMLAY & BIEDERMANN, INC. ANY SUCH REPRODUCTION OR COPIING IS PROHIBITED AND WILL BE CONSIDERED AN INFRINGEMENT OF THE COPYRIGHT IN THIS PLAN AND THE SURVEY THEREON.

2013-18658-001
GREMLAY & BIEDERMANN, INC.
10000 N. CENTRAL EXPRESSWAY, SUITE 100
DALLAS, TEXAS 75243
PHONE: (214) 343-1111
FAX: (214) 343-1112
WWW.GREMLAYANDBIEDERMANN.COM



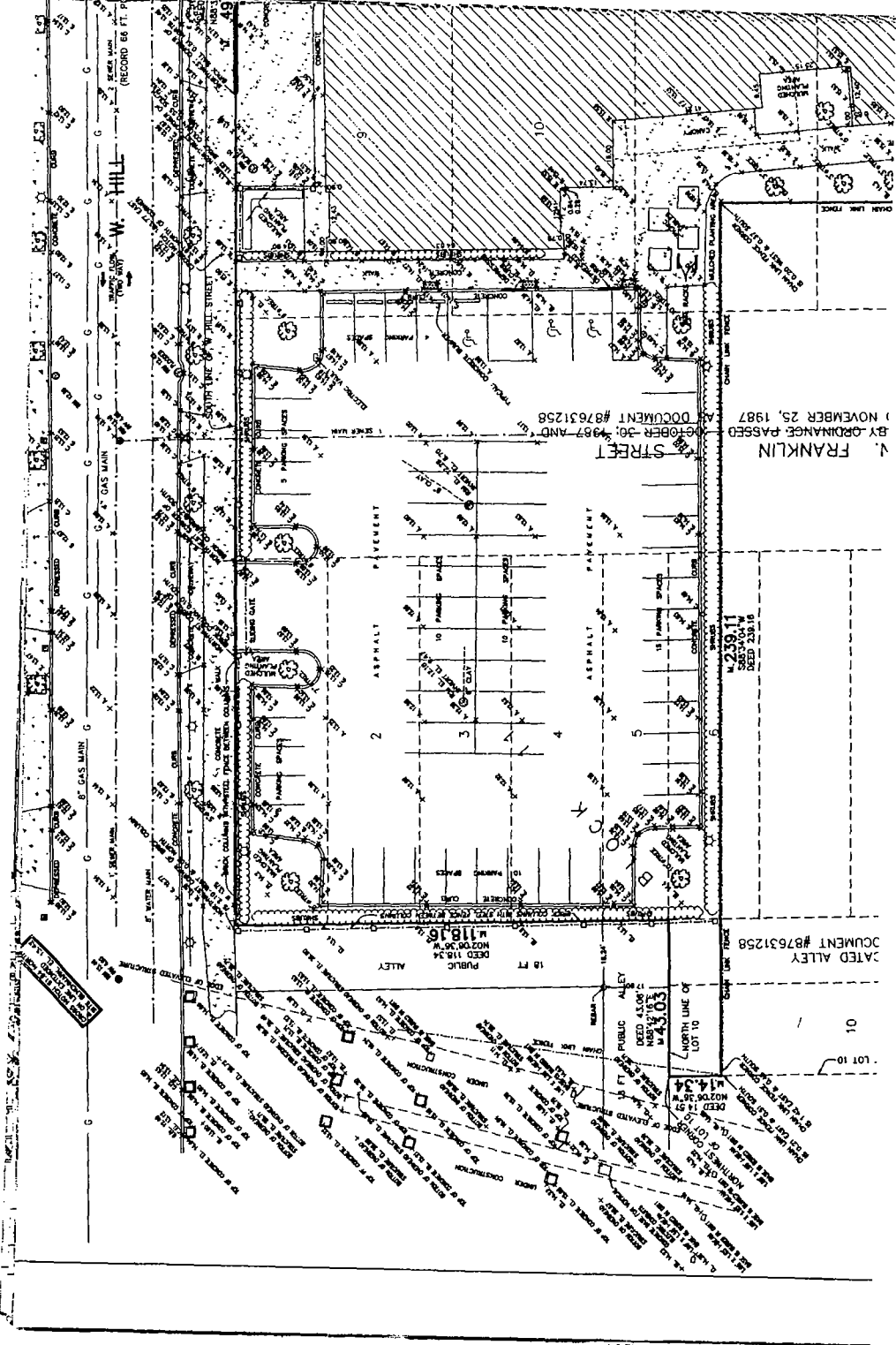
- LEGEND**
- 1. 1/4 SECTION
 - 2. 1/2 SECTION
 - 3. 3/4 SECTION
 - 4. 1/4 SECTION
 - 5. 1/2 SECTION
 - 6. 3/4 SECTION
 - 7. 1/4 SECTION
 - 8. 1/2 SECTION
 - 9. 3/4 SECTION
 - 10. 1/4 SECTION
 - 11. 1/2 SECTION
 - 12. 3/4 SECTION
 - 13. 1/4 SECTION
 - 14. 1/2 SECTION
 - 15. 3/4 SECTION
 - 16. 1/4 SECTION
 - 17. 1/2 SECTION
 - 18. 3/4 SECTION
 - 19. 1/4 SECTION
 - 20. 1/2 SECTION
 - 21. 3/4 SECTION
 - 22. 1/4 SECTION
 - 23. 1/2 SECTION
 - 24. 3/4 SECTION
 - 25. 1/4 SECTION
 - 26. 1/2 SECTION
 - 27. 3/4 SECTION
 - 28. 1/4 SECTION
 - 29. 1/2 SECTION
 - 30. 3/4 SECTION
 - 31. 1/4 SECTION
 - 32. 1/2 SECTION
 - 33. 3/4 SECTION
 - 34. 1/4 SECTION
 - 35. 1/2 SECTION
 - 36. 3/4 SECTION
 - 37. 1/4 SECTION
 - 38. 1/2 SECTION
 - 39. 3/4 SECTION
 - 40. 1/4 SECTION
 - 41. 1/2 SECTION
 - 42. 3/4 SECTION
 - 43. 1/4 SECTION
 - 44. 1/2 SECTION
 - 45. 3/4 SECTION
 - 46. 1/4 SECTION
 - 47. 1/2 SECTION
 - 48. 3/4 SECTION
 - 49. 1/4 SECTION
 - 50. 1/2 SECTION
 - 51. 3/4 SECTION
 - 52. 1/4 SECTION
 - 53. 1/2 SECTION
 - 54. 3/4 SECTION
 - 55. 1/4 SECTION
 - 56. 1/2 SECTION
 - 57. 3/4 SECTION
 - 58. 1/4 SECTION
 - 59. 1/2 SECTION
 - 60. 3/4 SECTION
 - 61. 1/4 SECTION
 - 62. 1/2 SECTION
 - 63. 3/4 SECTION
 - 64. 1/4 SECTION
 - 65. 1/2 SECTION
 - 66. 3/4 SECTION
 - 67. 1/4 SECTION
 - 68. 1/2 SECTION
 - 69. 3/4 SECTION
 - 70. 1/4 SECTION
 - 71. 1/2 SECTION
 - 72. 3/4 SECTION
 - 73. 1/4 SECTION
 - 74. 1/2 SECTION
 - 75. 3/4 SECTION
 - 76. 1/4 SECTION
 - 77. 1/2 SECTION
 - 78. 3/4 SECTION
 - 79. 1/4 SECTION
 - 80. 1/2 SECTION
 - 81. 3/4 SECTION
 - 82. 1/4 SECTION
 - 83. 1/2 SECTION
 - 84. 3/4 SECTION
 - 85. 1/4 SECTION
 - 86. 1/2 SECTION
 - 87. 3/4 SECTION
 - 88. 1/4 SECTION
 - 89. 1/2 SECTION
 - 90. 3/4 SECTION
 - 91. 1/4 SECTION
 - 92. 1/2 SECTION
 - 93. 3/4 SECTION
 - 94. 1/4 SECTION
 - 95. 1/2 SECTION
 - 96. 3/4 SECTION
 - 97. 1/4 SECTION
 - 98. 1/2 SECTION
 - 99. 3/4 SECTION
 - 100. 1/4 SECTION
 - 101. 1/2 SECTION
 - 102. 3/4 SECTION
 - 103. 1/4 SECTION
 - 104. 1/2 SECTION
 - 105. 3/4 SECTION
 - 106. 1/4 SECTION
 - 107. 1/2 SECTION
 - 108. 3/4 SECTION
 - 109. 1/4 SECTION
 - 110. 1/2 SECTION
 - 111. 3/4 SECTION
 - 112. 1/4 SECTION
 - 113. 1/2 SECTION
 - 114. 3/4 SECTION
 - 115. 1/4 SECTION
 - 116. 1/2 SECTION
 - 117. 3/4 SECTION
 - 118. 1/4 SECTION
 - 119. 1/2 SECTION
 - 120. 3/4 SECTION
 - 121. 1/4 SECTION
 - 122. 1/2 SECTION
 - 123. 3/4 SECTION
 - 124. 1/4 SECTION
 - 125. 1/2 SECTION
 - 126. 3/4 SECTION
 - 127. 1/4 SECTION
 - 128. 1/2 SECTION
 - 129. 3/4 SECTION
 - 130. 1/4 SECTION
 - 131. 1/2 SECTION
 - 132. 3/4 SECTION
 - 133. 1/4 SECTION
 - 134. 1/2 SECTION
 - 135. 3/4 SECTION
 - 136. 1/4 SECTION
 - 137. 1/2 SECTION
 - 138. 3/4 SECTION
 - 139. 1/4 SECTION
 - 140. 1/2 SECTION
 - 141. 3/4 SECTION
 - 142. 1/4 SECTION
 - 143. 1/2 SECTION
 - 144. 3/4 SECTION
 - 145. 1/4 SECTION
 - 146. 1/2 SECTION
 - 147. 3/4 SECTION
 - 148. 1/4 SECTION
 - 149. 1/2 SECTION
 - 150. 3/4 SECTION
 - 151. 1/4 SECTION
 - 152. 1/2 SECTION
 - 153. 3/4 SECTION
 - 154. 1/4 SECTION
 - 155. 1/2 SECTION
 - 156. 3/4 SECTION
 - 157. 1/4 SECTION
 - 158. 1/2 SECTION
 - 159. 3/4 SECTION
 - 160. 1/4 SECTION
 - 161. 1/2 SECTION
 - 162. 3/4 SECTION
 - 163. 1/4 SECTION
 - 164. 1/2 SECTION
 - 165. 3/4 SECTION
 - 166. 1/4 SECTION
 - 167. 1/2 SECTION
 - 168. 3/4 SECTION
 - 169. 1/4 SECTION
 - 170. 1/2 SECTION
 - 171. 3/4 SECTION
 - 172. 1/4 SECTION
 - 173. 1/2 SECTION
 - 174. 3/4 SECTION
 - 175. 1/4 SECTION
 - 176. 1/2 SECTION
 - 177. 3/4 SECTION
 - 178. 1/4 SECTION
 - 179. 1/2 SECTION
 - 180. 3/4 SECTION
 - 181. 1/4 SECTION
 - 182. 1/2 SECTION
 - 183. 3/4 SECTION
 - 184. 1/4 SECTION
 - 185. 1/2 SECTION
 - 186. 3/4 SECTION
 - 187. 1/4 SECTION
 - 188. 1/2 SECTION
 - 189. 3/4 SECTION
 - 190. 1/4 SECTION
 - 191. 1/2 SECTION
 - 192. 3/4 SECTION
 - 193. 1/4 SECTION
 - 194. 1/2 SECTION
 - 195. 3/4 SECTION
 - 196. 1/4 SECTION
 - 197. 1/2 SECTION
 - 198. 3/4 SECTION
 - 199. 1/4 SECTION
 - 200. 1/2 SECTION
 - 201. 3/4 SECTION
 - 202. 1/4 SECTION
 - 203. 1/2 SECTION
 - 204. 3/4 SECTION
 - 205. 1/4 SECTION
 - 206. 1/2 SECTION
 - 207. 3/4 SECTION
 - 208. 1/4 SECTION
 - 209. 1/2 SECTION
 - 210. 3/4 SECTION
 - 211. 1/4 SECTION
 - 212. 1/2 SECTION
 - 213. 3/4 SECTION
 - 214. 1/4 SECTION
 - 215. 1/2 SECTION
 - 216. 3/4 SECTION
 - 217. 1/4 SECTION
 - 218. 1/2 SECTION
 - 219. 3/4 SECTION
 - 220. 1/4 SECTION
 - 221. 1/2 SECTION
 - 222. 3/4 SECTION
 - 223. 1/4 SECTION
 - 224. 1/2 SECTION
 - 225. 3/4 SECTION
 - 226. 1/4 SECTION
 - 227. 1/2 SECTION
 - 228. 3/4 SECTION
 - 229. 1/4 SECTION
 - 230. 1/2 SECTION
 - 231. 3/4 SECTION
 - 232. 1/4 SECTION
 - 233. 1/2 SECTION
 - 234. 3/4 SECTION
 - 235. 1/4 SECTION
 - 236. 1/2 SECTION
 - 237. 3/4 SECTION
 - 238. 1/4 SECTION
 - 239. 1/2 SECTION
 - 240. 3/4 SECTION
 - 241. 1/4 SECTION
 - 242. 1/2 SECTION
 - 243. 3/4 SECTION
 - 244. 1/4 SECTION
 - 245. 1/2 SECTION
 - 246. 3/4 SECTION
 - 247. 1/4 SECTION
 - 248. 1/2 SECTION
 - 249. 3/4 SECTION
 - 250. 1/4 SECTION
 - 251. 1/2 SECTION
 - 252. 3/4 SECTION
 - 253. 1/4 SECTION
 - 254. 1/2 SECTION
 - 255. 3/4 SECTION
 - 256. 1/4 SECTION
 - 257. 1/2 SECTION
 - 258. 3/4 SECTION
 - 259. 1/4 SECTION
 - 260. 1/2 SECTION
 - 261. 3/4 SECTION
 - 262. 1/4 SECTION
 - 263. 1/2 SECTION
 - 264. 3/4 SECTION
 - 265. 1/4 SECTION
 - 266. 1/2 SECTION
 - 267. 3/4 SECTION
 - 268. 1/4 SECTION
 - 269. 1/2 SECTION
 - 270. 3/4 SECTION
 - 271. 1/4 SECTION
 - 272. 1/2 SECTION
 - 273. 3/4 SECTION
 - 274. 1/4 SECTION
 - 275. 1/2 SECTION
 - 276. 3/4 SECTION
 - 277. 1/4 SECTION
 - 278. 1/2 SECTION
 - 279. 3/4 SECTION
 - 280. 1/4 SECTION
 - 281. 1/2 SECTION
 - 282. 3/4 SECTION
 - 283. 1/4 SECTION
 - 284. 1/2 SECTION
 - 285. 3/4 SECTION
 - 286. 1/4 SECTION
 - 287. 1/2 SECTION
 - 288. 3/4 SECTION
 - 289. 1/4 SECTION
 - 290. 1/2 SECTION
 - 291. 3/4 SECTION
 - 292. 1/4 SECTION
 - 293. 1/2 SECTION
 - 294. 3/4 SECTION
 - 295. 1/4 SECTION
 - 296. 1/2 SECTION
 - 297. 3/4 SECTION
 - 298. 1/4 SECTION
 - 299. 1/2 SECTION
 - 300. 3/4 SECTION

THIS PLAN AND THE SURVEY THEREON ARE THE PROPERTY OF GREMLAY & BIEDERMANN, INC. AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF GREMLAY & BIEDERMANN, INC. ANY SUCH REPRODUCTION OR COPIING IS PROHIBITED AND WILL BE CONSIDERED AN INFRINGEMENT OF THE COPYRIGHT IN THIS PLAN AND THE SURVEY THEREON.



GREMLAY & BIEDERMANN
PLCS Corporation
10000 N. CENTRAL EXPRESSWAY, SUITE 100
DALLAS, TEXAS 75243
PHONE: (214) 343-1111
FAX: (214) 343-1112
WWW.GREMLAYANDBIEDERMANN.COM

ALTA/ACSM Land The Survey



BY ORDINANCE PASSED
OCTOBER 20, 1987 AND
NOVEMBER 25, 1987
DOCUMENT #87631258

DOCUMENT #87631258
PAVED ALLEY

LOT 10
LOT 11

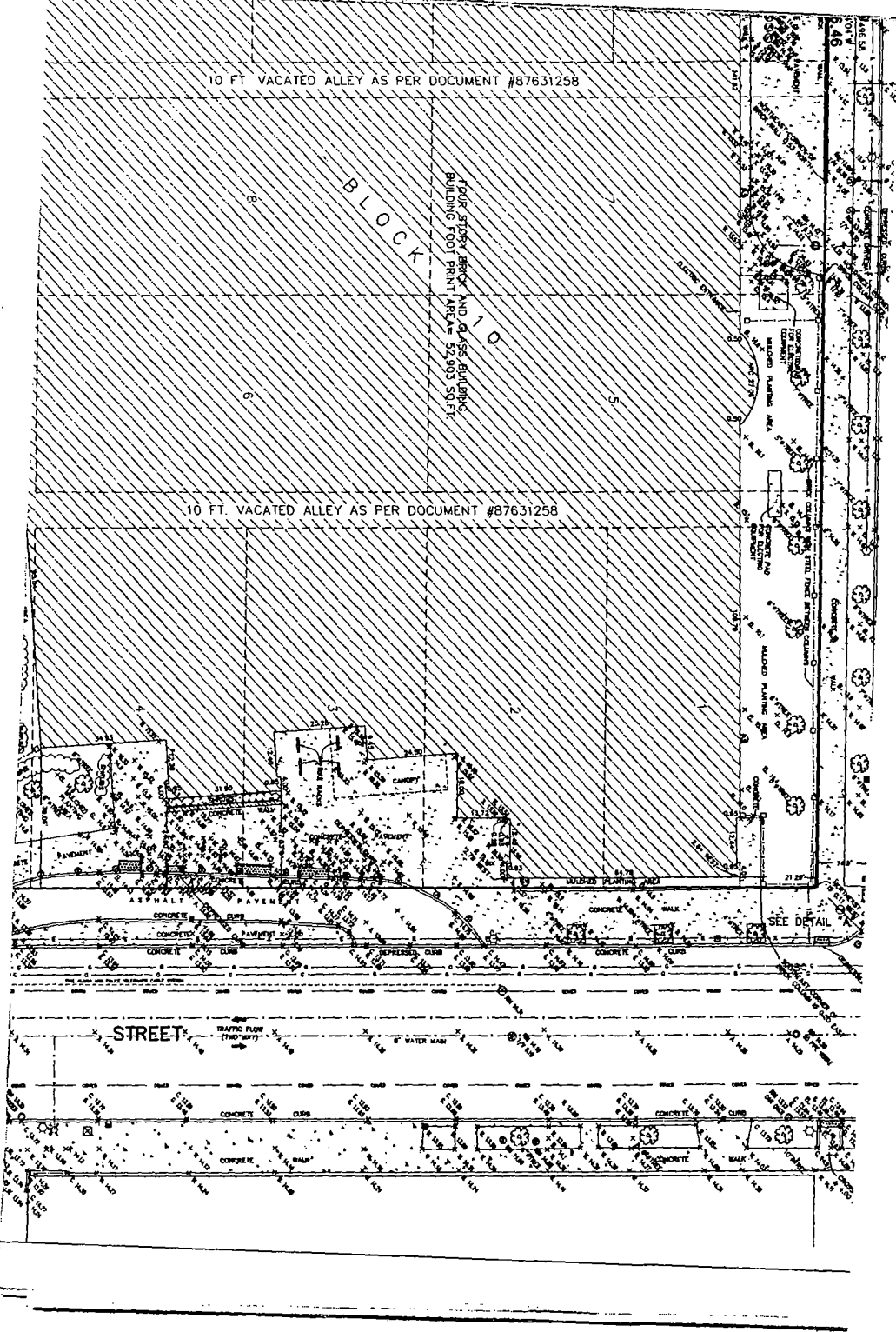
DEED 118 34
DEED 118 35
DEED 118 36
DEED 118 37
DEED 118 38
DEED 118 39
DEED 118 40
DEED 118 41
DEED 118 42
DEED 118 43
DEED 118 44
DEED 118 45
DEED 118 46
DEED 118 47
DEED 118 48
DEED 118 49
DEED 118 50
DEED 118 51
DEED 118 52
DEED 118 53
DEED 118 54
DEED 118 55
DEED 118 56
DEED 118 57
DEED 118 58
DEED 118 59
DEED 118 60
DEED 118 61
DEED 118 62
DEED 118 63
DEED 118 64
DEED 118 65
DEED 118 66
DEED 118 67
DEED 118 68
DEED 118 69
DEED 118 70
DEED 118 71
DEED 118 72
DEED 118 73
DEED 118 74
DEED 118 75
DEED 118 76
DEED 118 77
DEED 118 78
DEED 118 79
DEED 118 80
DEED 118 81
DEED 118 82
DEED 118 83
DEED 118 84
DEED 118 85
DEED 118 86
DEED 118 87
DEED 118 88
DEED 118 89
DEED 118 90
DEED 118 91
DEED 118 92
DEED 118 93
DEED 118 94
DEED 118 95
DEED 118 96
DEED 118 97
DEED 118 98
DEED 118 99
DEED 118 100

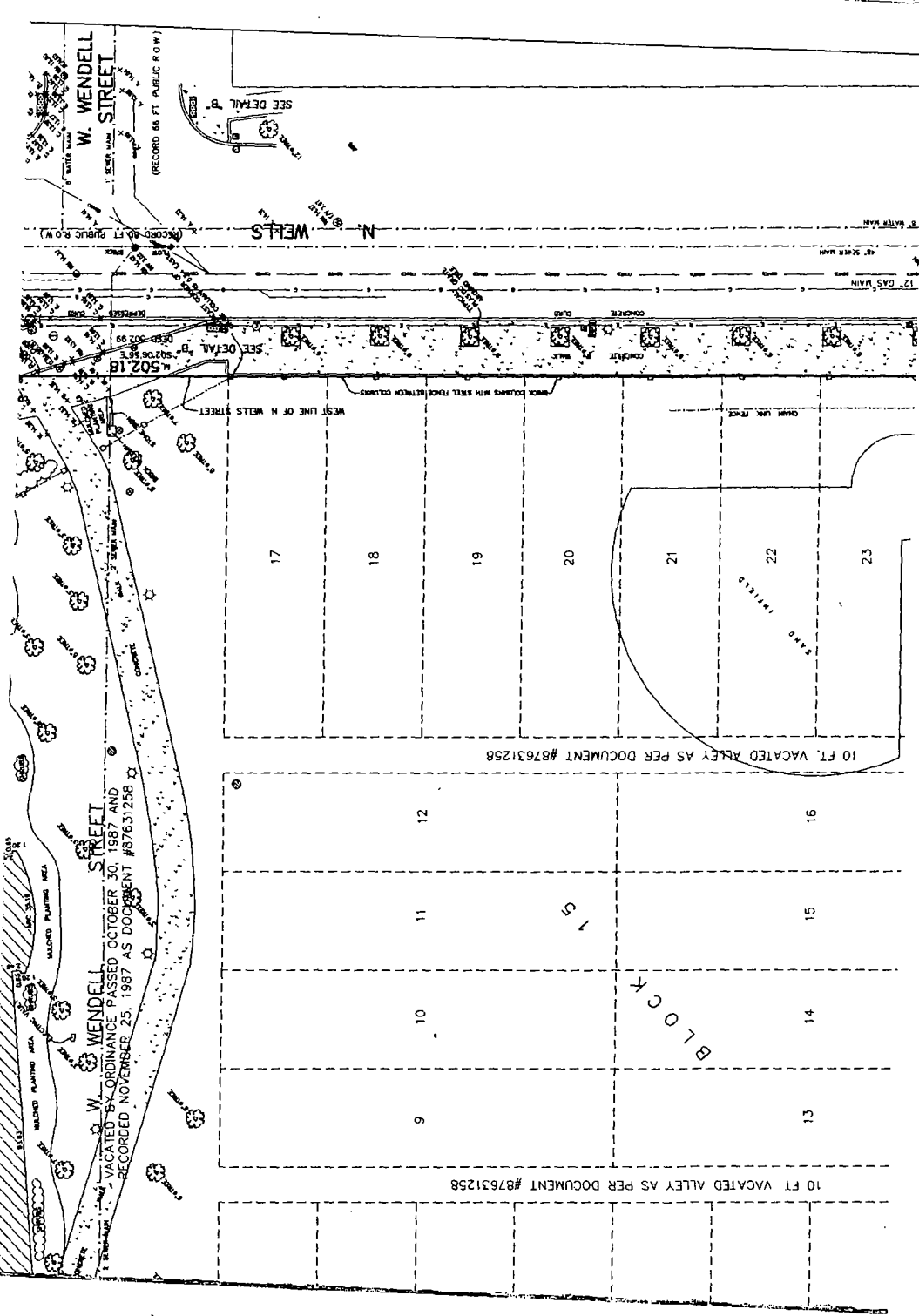
10 FT. VACATED ALLEY AS PER DOCUMENT #87631258

BLOCK 10

FOUR STORY BRICK AND GLASS BUILDING
BUILDING FOOT PRINT AREA = 52,933 SQ. FT.

10 FT. VACATED ALLEY AS PER DOCUMENT #87631258



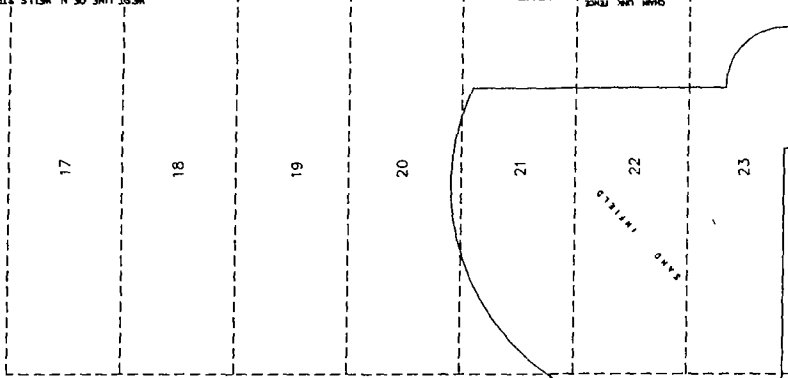


W. WENDELL STREET
(RECORD 66 FT PUBLIC ROW)

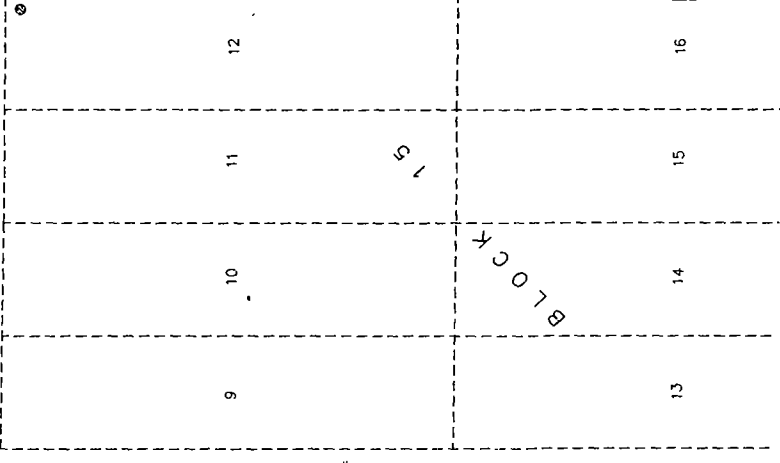
WELLS STREET
(RECORD 30 FT PUBLIC ROW)

SEE DETAIL "B"
S0218

WEST LINE OF N WELLS STREET
MANHOLES WITH 18" DIA. FRONTS IN TYPICAL COLLARS
CONCRETE CURB
CONCRETE DRIVE



10 FT. VACATED ALLEY AS PER DOCUMENT #87631258



10 FT. VACATED ALLEY AS PER DOCUMENT #87631258

W. WENDELL STREET
VACATED BY ORDINANCE PASSED OCTOBER 30, 1987, AND
RECORDED NOVEMBER 25, 1987 AS DOCUMENT #87631258
MARKED PLANTING AREA

MARKED PLANTING AREA
MARKED PLANTING AREA
MARKED PLANTING AREA
MARKED PLANTING AREA

BLOCK 15

9

10

11

12

13

14

15

16

17

18

19

20

21

22

23

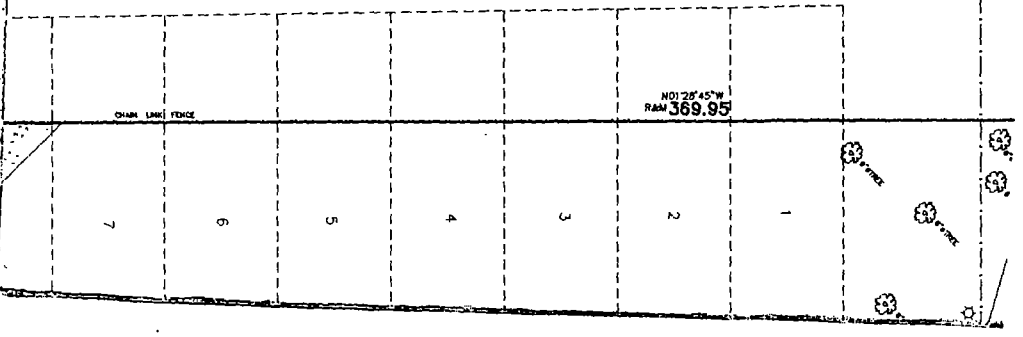
LAND TRACTS

LEGEND

- ⊗ Storm CB
- ⊙ San MH
- ⊕ San Storm Combo MH
- ⊖ Water MH
- ⊗ Water Fire Hydrant
- ⊙ Telephone MH
- ⊕ Electric MH
- ⊖ Electric Vault
- ⊗ Electric Light Pole
- ⊙ Gas Buffalo Box
- ⊕ Gas Hand Hole

N. FRANKLIN STREET

VACATED BY ORDINANCE PASSED OCTOBER 30, 1987 AND
RECORDED NOVEMBER 25, 1987 AS DOCUMENT #87631258



- * Cut Cross
- A-ASPHALT ELEVATION
- B-BERM ELEVATION
- C-CONCRETE ELEVATION
- D-DRAINAGE ELEVATION
- E-ELEVATION
- F-FLOOR ELEVATION
- G-GUTTER ELEVATION
- H-HIGH ELEVATION
- I-INTERIOR ELEVATION
- J-JOIST ELEVATION
- K-KONCRETE ELEVATION
- L-LOW ELEVATION
- M-MARK ELEVATION
- N-NOTE ELEVATION
- O-OTHER ELEVATION
- P-PAVEMENT ELEVATION
- Q-QUICK ELEVATION
- R-ROOF ELEVATION
- S-SLOPE ELEVATION
- T-TOP OF SLOPE ELEVATION
- U-UNDERGROUND ELEVATION
- V-VALVE ELEVATION
- W-WALK ELEVATION
- X-CONCRETE ELEVATION
- Y-YARD ELEVATION
- Z-ZONE ELEVATION
- AA-ASPHALT ELEVATION
- BB-BERM ELEVATION
- CC-CONCRETE ELEVATION
- DD-DRAINAGE ELEVATION
- EE-ELEVATION
- FF-FLOOR ELEVATION
- GG-GUTTER ELEVATION
- HH-HIGH ELEVATION
- II-INTERIOR ELEVATION
- JJ-JOIST ELEVATION
- KK-KONCRETE ELEVATION
- LL-LOW ELEVATION
- MM-MARK ELEVATION
- NN-NOTE ELEVATION
- OO-OTHER ELEVATION
- PP-PAVEMENT ELEVATION
- QQ-QUICK ELEVATION
- RR-ROOF ELEVATION
- SS-SLOPE ELEVATION
- TT-TOP OF SLOPE ELEVATION
- UU-UNDERGROUND ELEVATION
- VV-VALVE ELEVATION
- WW-WALK ELEVATION
- XX-CONCRETE ELEVATION
- YY-YARD ELEVATION
- ZZ-ZONE ELEVATION

LOCATED CITY STRUCTURE JANUARY 13, 2014
 PER ORDER #2014-18658-001 PAJ

BOARD OF UNDERGROUND ADDED JANUARY 6, 2014

ORDERED BY: PUBLIC BUILDING COMMISSION OF CHICAGO
 ADDRESS: 401 W. WENDELL STREET

DATE: FEBRUARY 1, 2013
 SCALE: 1" = 20' FEET

PROJECT: 2013-18658-001

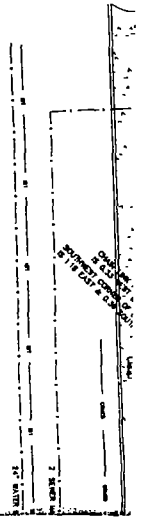
DATE: FEBRUARY 1, 2013
 SCALE: 1" = 20' FEET

1 OF 2

GREMLEY & BIEDERMANN
 F.L.S. CORPORATION
 4501 NORTH ELSTON AVENUE, CHICAGO, IL 60630
 TEL: (773) 465-3000 FAX: (773) 384-4444

CITY OF CHICAGO STANDARD BENCHMARK # 1480
 ELEVATION = 14.54'

LOCATION: ORLEANS STREET AND WENDELL STREET.
 ON NORTH SIDE OF WENDELL STREET AT WEST SIDE OF
 ALLEY EAST OF ORLEANS STREET. MARK CUT ON
 CORNER OF STONE WATER TABLE AT SOUTHWEST
 CORNER OF 4 STORY AND BASEMENT BRICK BUILDING.



SURVEY NOTES

This survey was prepared without the benefit of, and is subject to, all appearing of record as might be disclosed by a current title commitment.

Surveyor's license expires November 30, 2014

ALL TREES SHOWN HEREON ARE DECIDUOUS

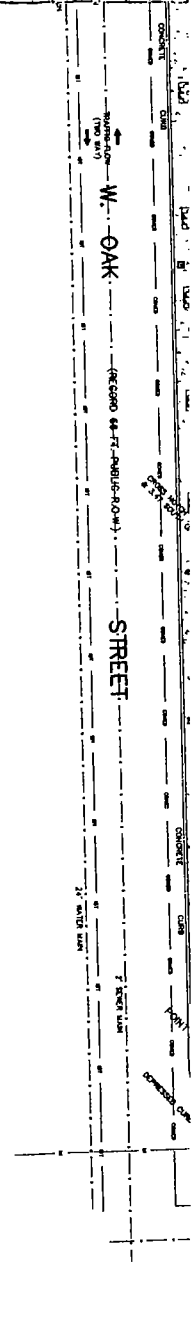
PROPERTY APPEARS IN "OTHER AREAS" ZONE X, AREAS DET. THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE COUNTY, ILLINOIS, MAP NO. 7031C D1910, EFFECTIVE DATE AUGUST 19, 2008

NOTE: R. & M. DENOTES RECORD AND MEASURED DISTANCES. DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREAFTER. POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT BEFORE DAMAGE IS DONE.

FOR EASEMENTS, BUILDING LINES AND OTHER RESTRICTIONS, REFER TO THE RELEVANT DEED, CONTRACTS, LOCAL BUILDING LINE REGULATIONS

NO DIMENSIONS SHALL BE ASSUMED BY SCALE MEASUREMENTS UNLESS OTHERWISE NOTED HEREON THE BEARING BASIS IS COORDINATE DATUM IF USED IS ASSUMED.

COPYRIGHT GREMLEY & BIEDERMANN, INC. 2013. All Rights Reserved.



Restrictions and markers
 11.

PRINTED TO BE OUTSIDE
 OF RATE MAP COOK

RESPECTIVELY.
 OF COMPARE ALL
 BY DIFFERENCES
 NOT SHOWN ON
 TITLE POLICY AND
 UPON THIS PLAT
 EVATION DATUM AND
 "meat"

UTILITY WARNING
 The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes NO guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.
 Call DIGGER - (312) 744-7000 within the City of Chicago
 Outside of the City of Chicago call JULLIE, (800) 892-0123 prior to construction or excavation.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 7(a), 7(b)(1), 8, 9, and 11(a) of Table A thereof.
 The field work was completed on January 13, 2014.
 Date of Plat: January 14, 2014
 By: Robert G. Biederman
 Robert G. Biederman
 Professional Illinois Land Surveyor No. 2892

