



City of Chicago



O2020-4494

Office of the City Clerk

Document Tracking Sheet

Meeting Date: 9/9/2020

Sponsor(s): Misc. Transmittal

Type: Ordinance

Title: Zoning Reclassification Map No. 8-E at 3431 S Indiana Ave -
App No. 20469T1

Committee(s) Assignment: Committee on Zoning, Landmarks and Building Standards

Ordinance No. 2011-00000

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the C1-2 Neighborhood Commercial District symbols and indications as shown on Map No. 8-E in an area bound by

A line 301.8 feet north of and parallel to East 35th Street; the public alley next east of and parallel to South Indiana Avenue; a line 276.8 feet north of and parallel to East 35th Street; And South Indiana Avenue

to those of a RS-3 Residential Single-Unit (Detached House) District.

SECTION 2. This ordinance takes effect after its passage and due publication.

Common Address of Property: 3431 South Indiana Avenue

Type-I ZONING MAP AMENDMENT: SUBSTITUTE NARRATIVE & PLANS

3431 South Indiana Avenue – C1-2 to RS-3

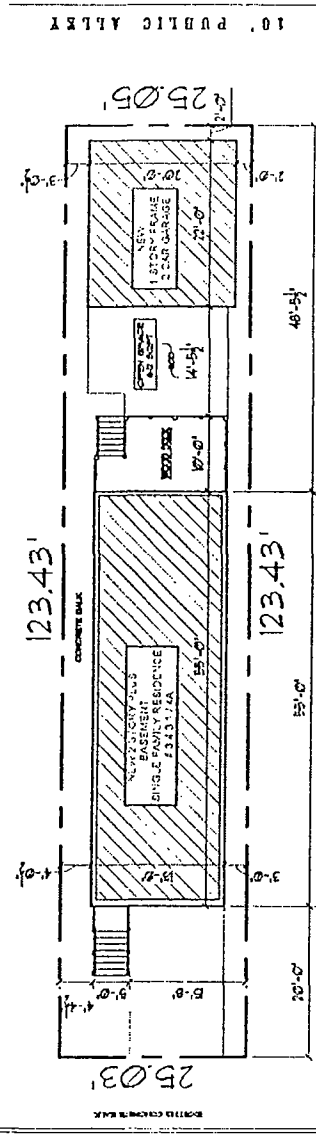
The applicant wishes to rezone the property in order to construct a proposed 2-story single-family residence and basement and a proposed 2-car garage at the rear of the property.

FAR	0.64
Building Area	1,980 Square Feet
Density (MLA)	3,085.75 Square Feet
Lot Area	3,085.75 Square Feet
Building Height	24 Feet 8 Inches
Front Setback	20 Feet 0 Inches
Rear Setback	48 Feet 5½ Inches
North Side Setback	4 Feet ½ Inches
South Side Setback	3 Feet 0 Inches
Parking	2 Parking Stalls

NEW FRAME SINGLE FAMILY RESIDENCE

3431 S. INDIANA AVE.
CHICAGO, ILL. 60616

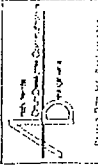
S. INDIANA AVE.



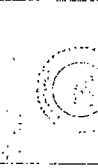
SITE PLAN
1/8" = 1'-0"

ZONING ANALYSIS	
ZONING CLASS:	CS-1
LOT AREA:	3,090 SQFT.
DWELLING UNITS ACTUAL:	1 DU'S
FLOOR AREA ALLOWED (0.9):	2,781 SQFT.
FLOOR AREA ACTUAL:	1,990 SQFT.
BASEMENT:	990 SQFT.
FIRST FLOOR:	990 SQFT.
SECOND FLOOR:	990 SQFT.
REAR YARD REQUIRED:	34.5'
REAR YARD ACTUAL:	48'-5 1/2'
SIDE YARD REQUIRED:	5'-0"
SIDE YARD ACTUAL:	1'-0 1/2'
FRONT YARD REQUIRED:	19.33' by Average
FRONT YARD ACTUAL:	20'-0"
HEIGHT ALLOWED:	30'-0"
HEIGHT ACTUAL:	24'-8"

ZONING ANALYSIS	
C1-2 EXISTING	RS-3 PROPOSED BY ZONING CHANGE
3,090 SQFT.	1 DU'S
2,781 SQFT.	1,990 SQFT.
990 SQFT.	990 SQFT.
990 SQFT.	990 SQFT.
34.5'	48'-5 1/2'
5'-0"	1'-0 1/2'
19.33' by Average	20'-0"
20'-0"	30'-0"
30'-0"	24'-8"



AD
Professional Engineer
No. 123456789
State of Illinois



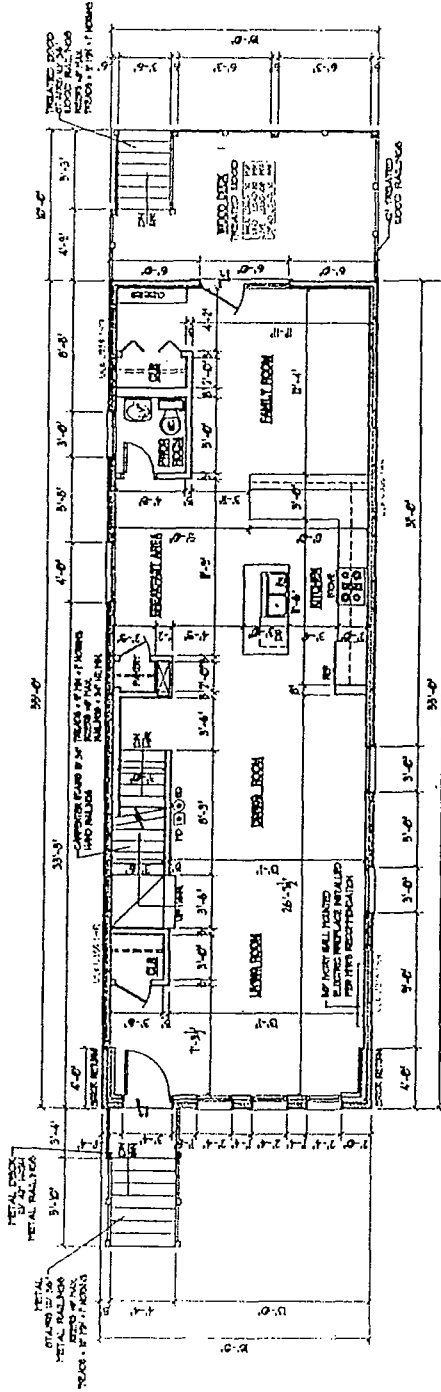
3431 S
INDIANA
AVENUE

SHEET NUMBER

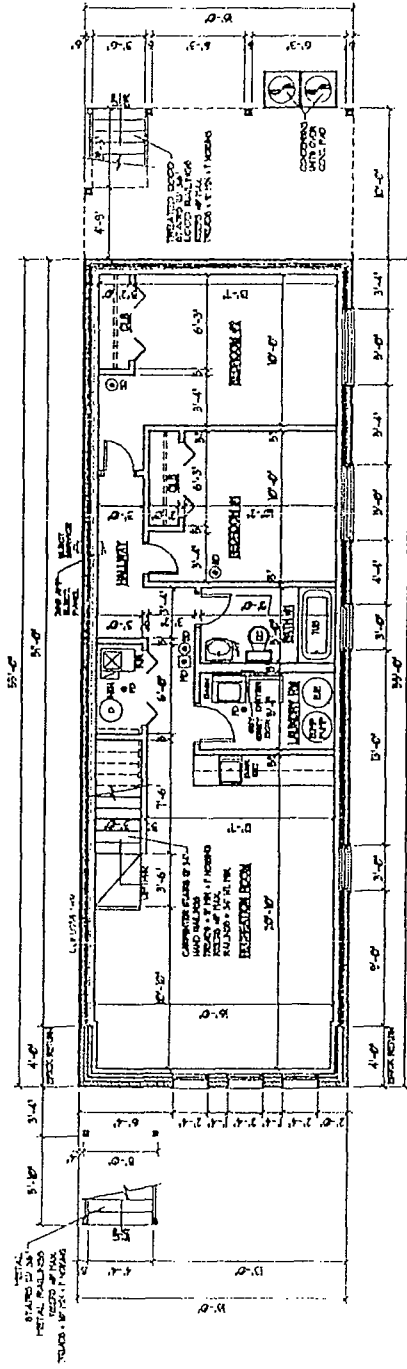
SITE PLAN &
ZONING INFORMATION

CS-1


Final for Publication



FIRST FLOOR PROPOSED PLAN
 SCALE: 1/8"=1'-0"
 990 SQ.FT.



BASEMENT PROPOSED PLAN
 SCALE: 1/8"=1'-0"
 990 SQ.FT.

 PROFESSIONAL ENGINEER STATE OF INDIANA No. 123456 EXPIRES 12/31/2024	ARCHITECT J. D. ARCHITECTS, INC. 1234 MAIN STREET INDIANAPOLIS, IN 46202 TEL: (317) 555-1234 FAX: (317) 555-5678 WWW: JDA.COM	3401 S INDIANA AVENUE INDIANAPOLIS, IN 46202	SHEET NAME PROPOSED FLOOR PLANS	A-1
			PROJECT NO. 123456	

Final for Publication



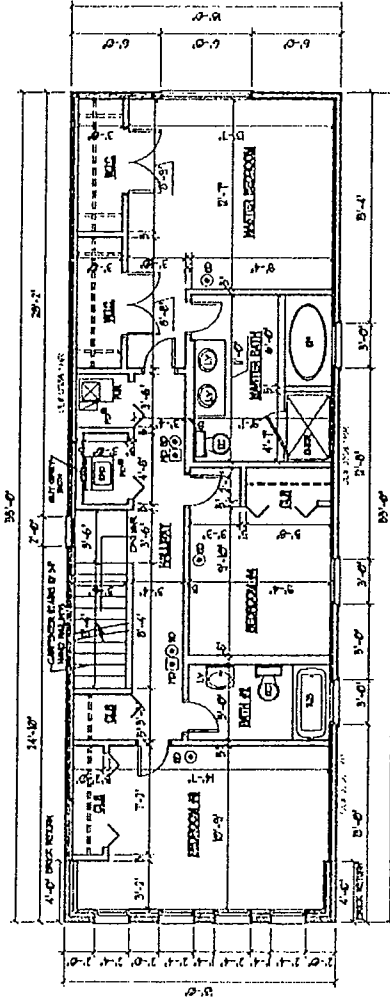
State of Illinois
Professional Engineer
Andrew D. ...
No. ...
Exp. ...



3431 S
INDIANA
AVENUE
CHICAGO, ILLINOIS

Sheet Name
PROPOSED
FLOOR PLANS

A-2

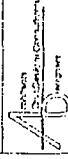


SECOND FLOOR PROPOSED PLAN

SCALE: 1/8"=1'-0"

990 SQ.F.T.

Final for Publication



ARCHITECT
100 N. LAUREL STREET
CHICAGO, ILLINOIS 60602
TEL: 312.467.1234
FAX: 312.467.1235

PROJECT NO. 100-100-100
DATE: 10/10/10

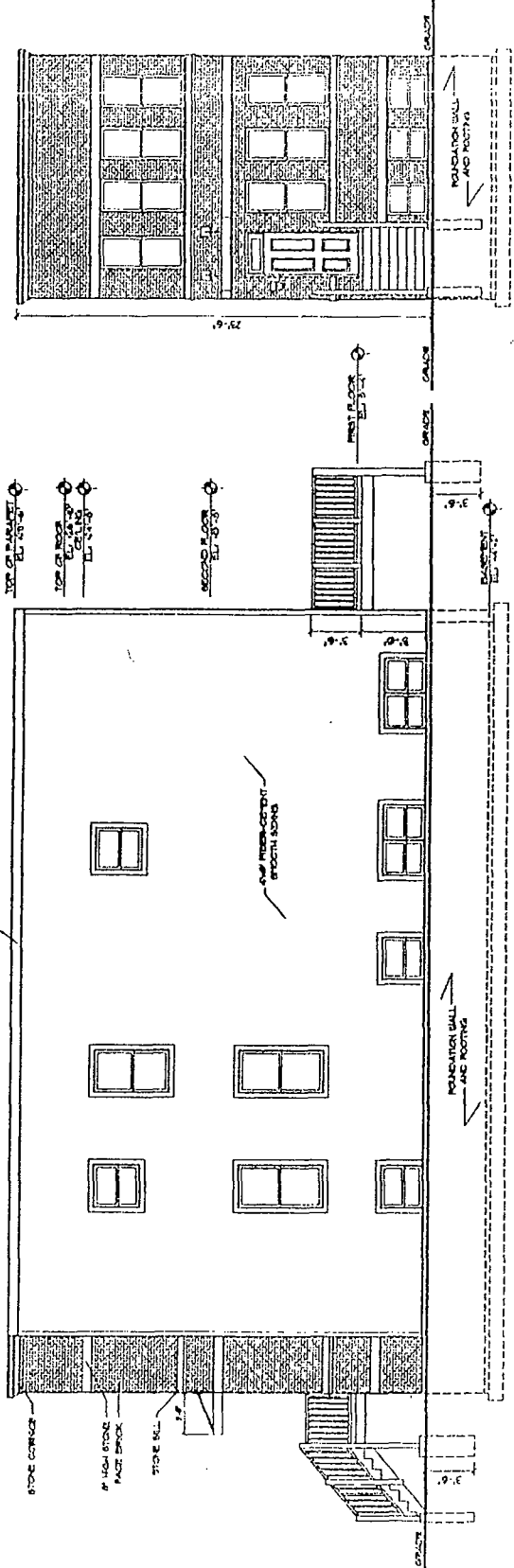


OWNER
100 N. LAUREL STREET
CHICAGO, ILLINOIS 60602
TEL: 312.467.1234
FAX: 312.467.1235

3431 S
INDIANA
AVENUE
CHICAGO, ILLINOIS

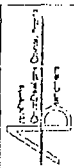
SHEET NAME
ENTRANCE
ELEVATIONS

A-3



FRONT ELEVATION
SCALE: 1/8"=1'-0"

SOUTH ELEVATION
SCALE: 1/8"=1'-0"



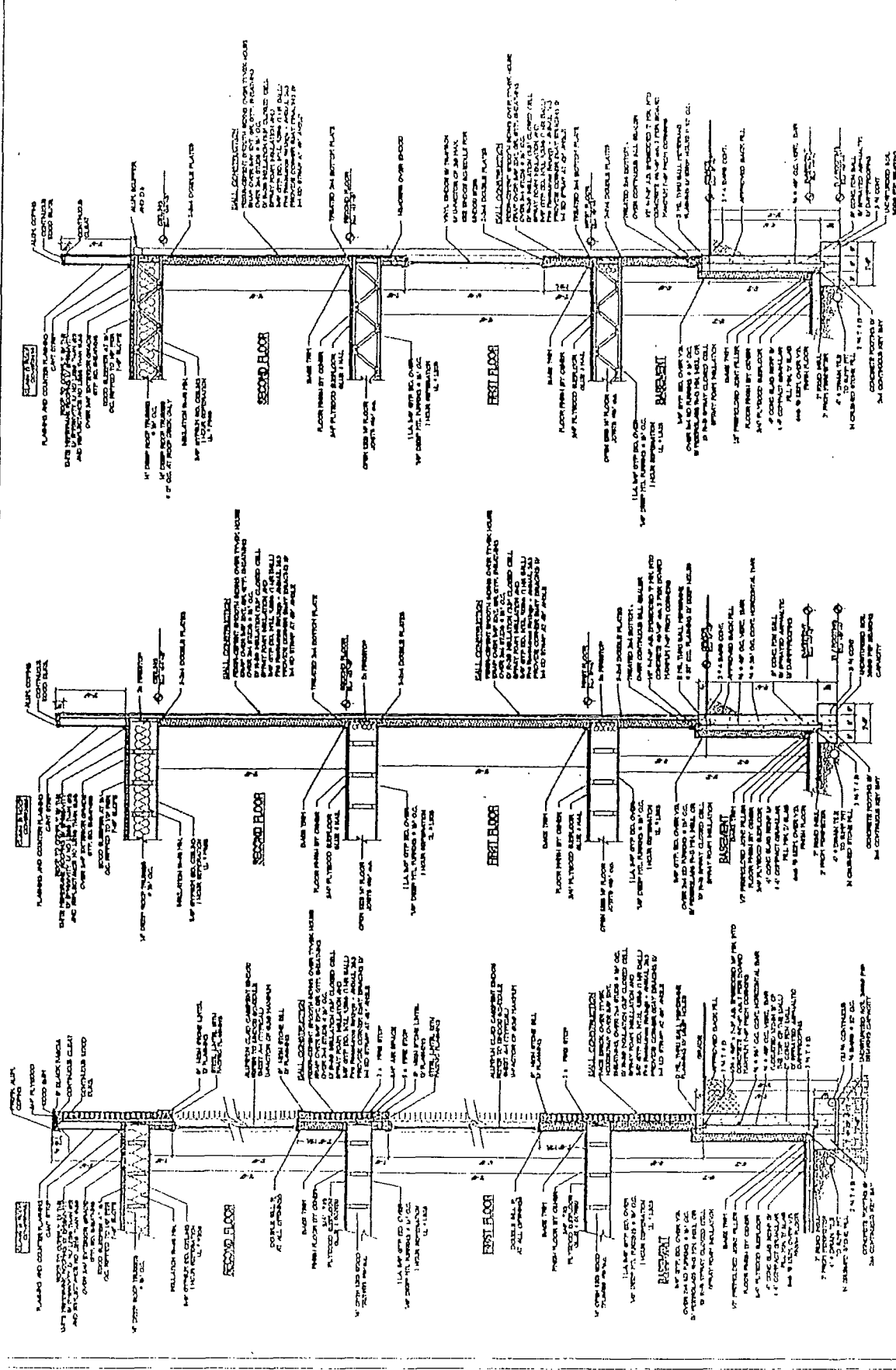
ARCHITECTS
343 S INDIANA AVENUE
CHICAGO, ILLINOIS

Table with columns for project details, including location, date, and other specifications.

343 S INDIANA AVENUE
CHICAGO, ILLINOIS

WALL SECTIONS

A-5



A WALL SECTION
SCALE 1/4" = 1'-0"

ALL CORNER JOINTS SHALL BE REINFORCED TO COMPLY WITH THE REQUIREMENTS THROUGHOUT.

B WALL SECTION
SCALE 1/4" = 1'-0"

ALL CORNER JOINTS SHALL BE REINFORCED TO COMPLY WITH THE REQUIREMENTS THROUGHOUT.

C WALL SECTION
SCALE 1/4" = 1'-0"

ALL CORNER JOINTS SHALL BE REINFORCED TO COMPLY WITH THE REQUIREMENTS THROUGHOUT.