



# City of Chicago



SO2018-4014

Office of the City Clerk

## Document Tracking Sheet

**Meeting Date:** 5/23/2018

**Sponsor(s):** Misc. Transmittal

**Type:** Ordinance

**Title:** Zoning Reclassification Map No. 5-G at 2061-2081 N  
Southport Ave/2065-2083 N Kingsbury St - App No.  
19656T1

**Committee(s) Assignment:** Committee on Zoning, Landmarks and Building Standards

FINAL FOR PUBLICATION

#19656-T1

INTRO DATE

MAY 23, 2018

ORDINANCE

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:**

**SECTION 1.** That the Chicago Zoning Ordinance be amended by changing all of the M2-2 Light Industry District symbols and indications as shown on Map 5-G in the area bounded by:

North Southport Avenue; the east-west public alley south of the intersection of North Clybourn Avenue and North Southport Avenue; the public alley east of North Southport Avenue and North Kingsbury Street; a line 732 feet north of and parallel to North Magnolia Avenue, as measured along North Kingsbury Street; and North Kingsbury Street.

to those of B3-5 Community Shopping District.

**SECTION 2.** This Ordinance shall be in force and effect from and after its passage and due publication

Address: 2061-2081 North Southport / 2065-2083 North Kingsbury, Chicago, Illinois

SUBSTITUTE NARRATIVE AND PLANS ZONING ANALYSIS  
TYPE 1 ZONING MAP AMENDMENT APPLICATION

**Applicant: Southport Stay LLC**

**Property Location: 2061-2081 North Southport / 2065-2083 North Kingsbury**

**Proposed Zoning: B3-5 Community Shopping District**

**Lot Area: 43,507 square feet**

Southport Stay LLC is the "Applicant" for a Type 1 Zoning Map Amendment for the subject property located at 2061-2081 North Southport / 2065-2083 North Kingsbury from the M2-2 Light Industry District to the B3-5 Community Shopping District. The Applicant proposes the reuse of the existing four-story building on the subject property.

The site is located on the east side of Southport and Kingsbury. To the north of the subject property are properties zoned M1-2, to the south is M2-2 zoning, to the west are M2-2 and M3-3 zoning, and to the east are properties zoned M1-2 and C1-2.

The subject property consists of approximately 43,507 square feet and is currently occupied by an existing four-story vacant industrial building. The Applicant proposes to reuse the existing building for commercial and residential uses. A new elevator penthouse will be added to the building.

56 automobile parking spaces and 28 bicycle parking spaces will be provided.

**NARRATIVE ZONING ANALYSIS**

(a) Floor Area and Floor Area Ratio:

- i. Lot area: 43,507 square feet
- iii. Total building area: 95,000 square feet
- iv. FAR: 2.2

(b) Density (Lot Area Per Dwelling Unit): 776 sf / unit (56 units proposed)

(c) Amount of off-street parking: 56

(d) Setbacks:

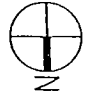
- i. Front setback: 0 feet
- ii. Side setbacks: 0 feet
- iii. Rear setback: 0 feet

(e) Building height: 75'11"

(f) Off-street Loading: 2 (10'x25')



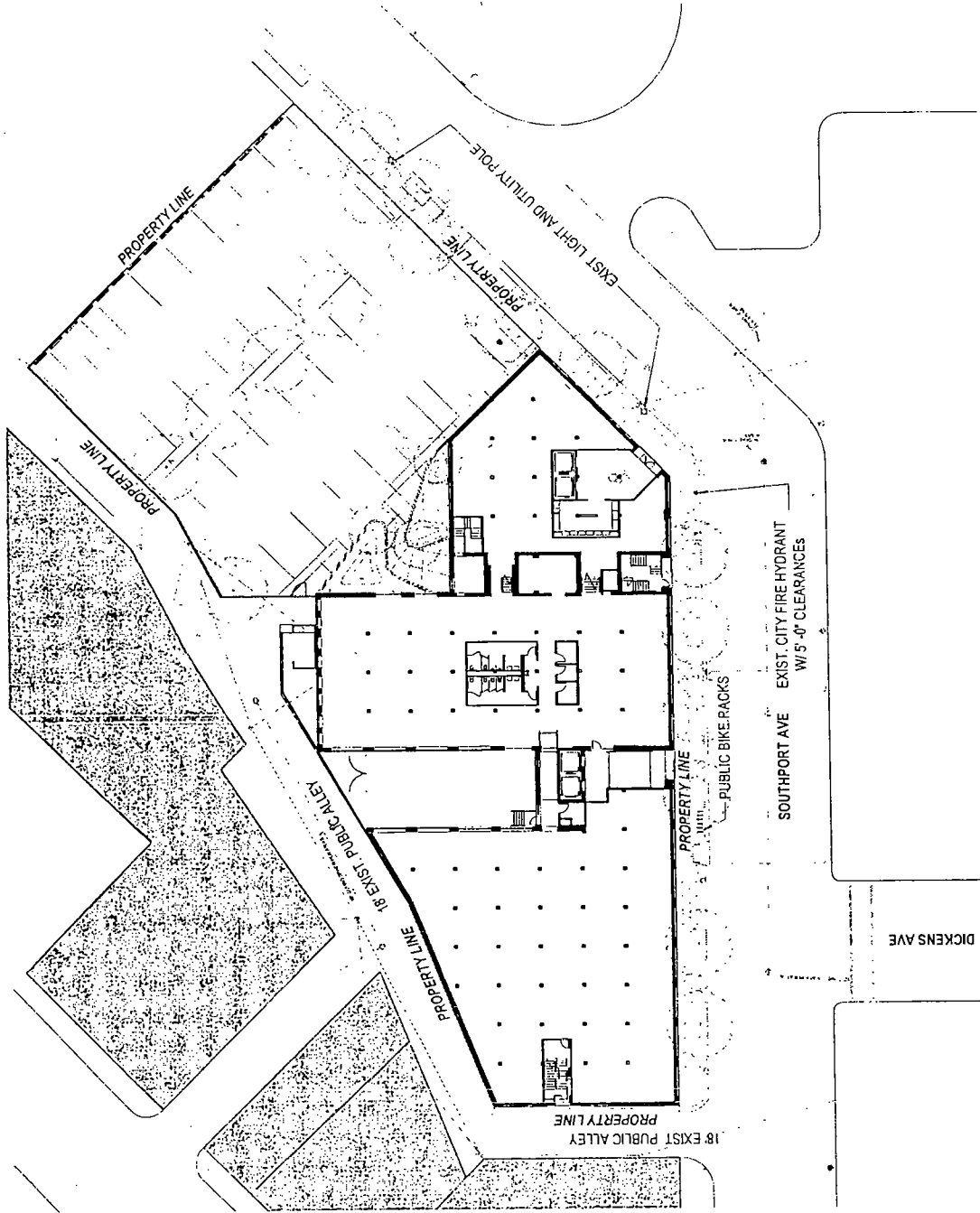
FINAL FOR PUBLICATION



NEW TREE



PERENNIAL/  
ORNAMENTAL GRASSES



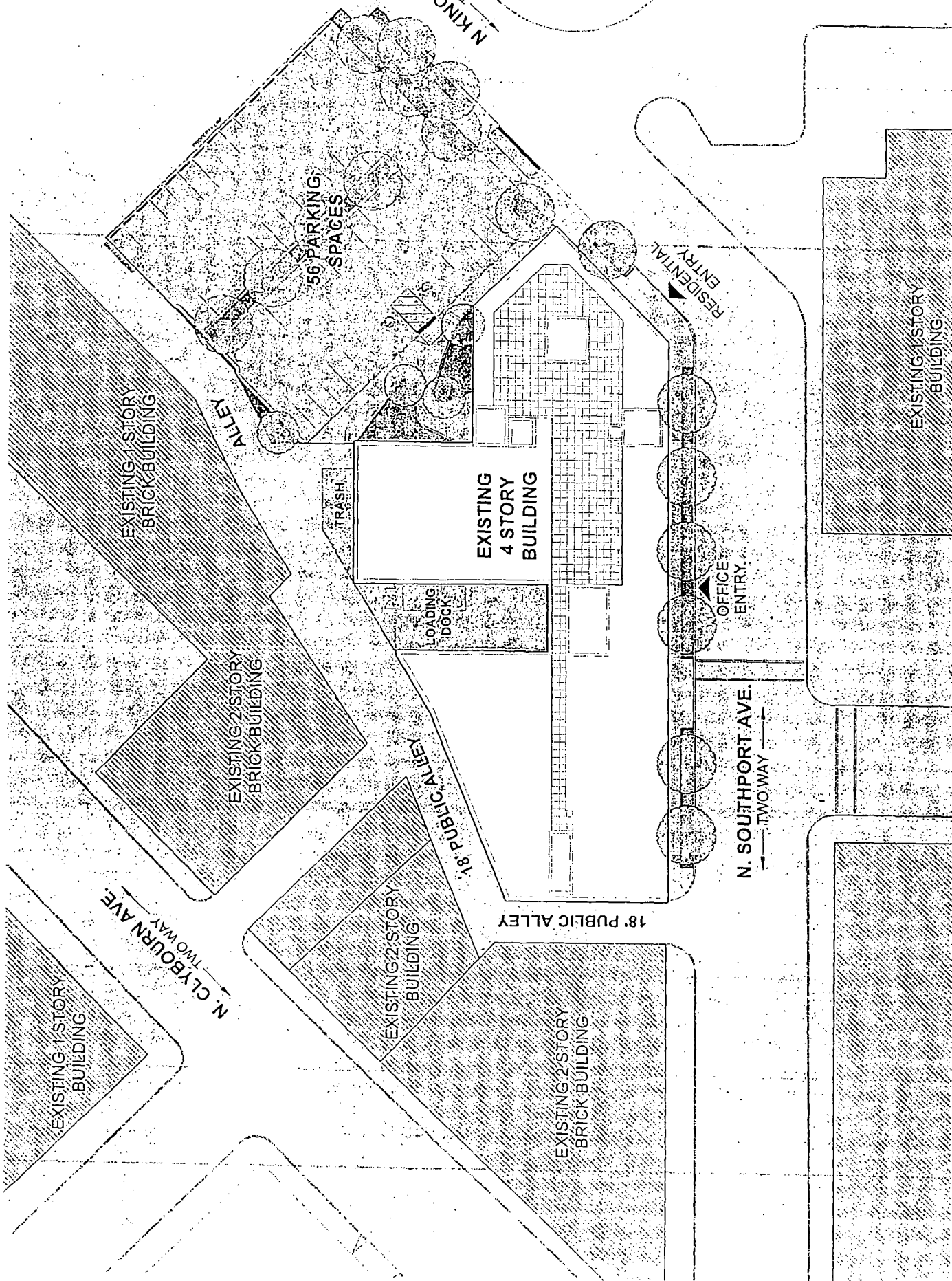
# LANDSCAPE PLAN

SCALE 1" = 60'-0"

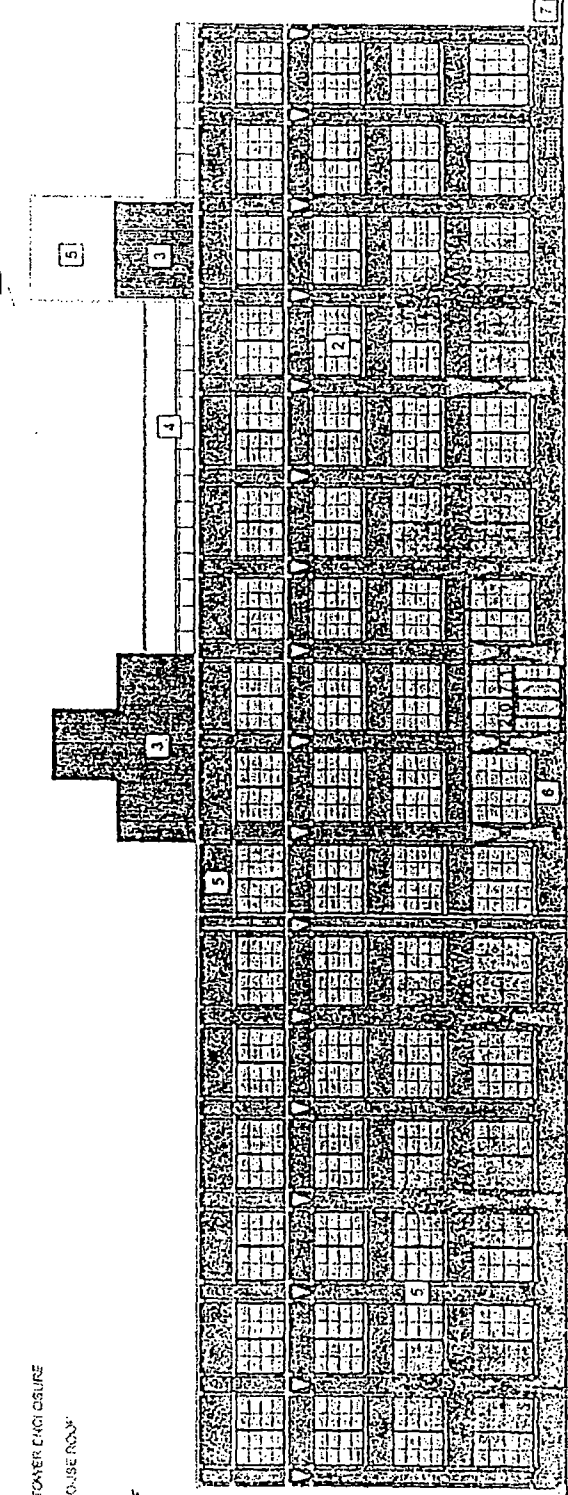
APPLICANT: SOUTHPORT STAY LLC  
ADDRESS: 2061-2081 NORTH SOUTHPORT / 2065-2083 NORTH KINGSBURY  
INTRODUCED: MAY 23, 2018

GRIE|C ARCHITECTS

FINAL FOR PUBLICATION



- MATERIAL LEGEND**
- 1 METAL AND GLASS STOREFRONT
  - 2 METAL AND GLASS WINDOWS
  - 3 METAL PANEL
  - 4 METAL AND GLASS GUARDRAIL
  - 5 BRICK MASONRY
  - 6 CONCRETE, PAINTED
  - 7 GLASS BLOCK



- 02.07 EXISTING WATER TOWER ENCLOSURE
- 02.11 EXISTING ELEVATOR PENHOUSE ROOF
- 07.01 PENHOUSE ROOF
- 07.02 ROOF DECK
- 07.03 ROOF PENHOUSE

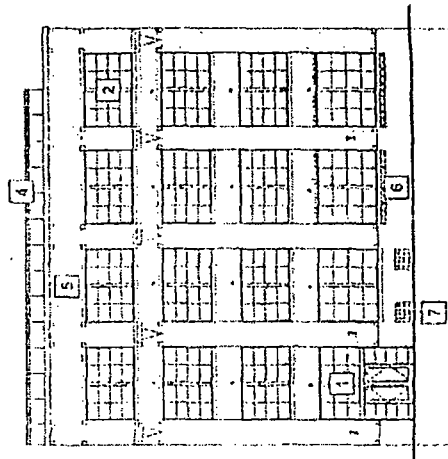
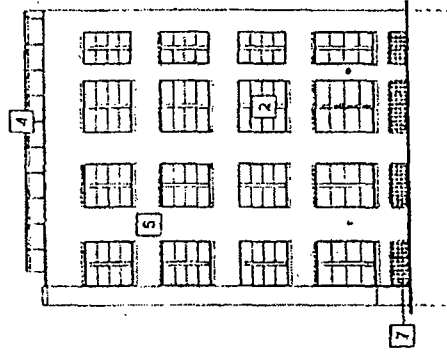
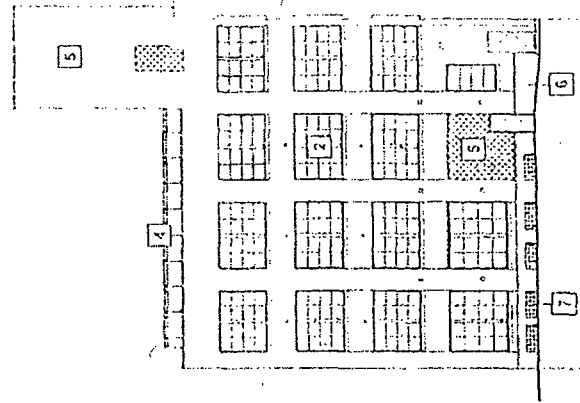
6/10/10  
GRIEIC

GRIEIC ARCHITECTS

KINGSBURY/SOUTHPORT - BUILDING ELEVATION

2071 N SOUTHPORT | CHICAGO, IL

- MATERIAL LEGEND**
- 1 METAL AND GLASS STOREFRONT
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00-01  
EXISTING WATER TOWER ENCLOSURE

00-02  
ROOF DECK  
EXISTING

00-03  
GRADE

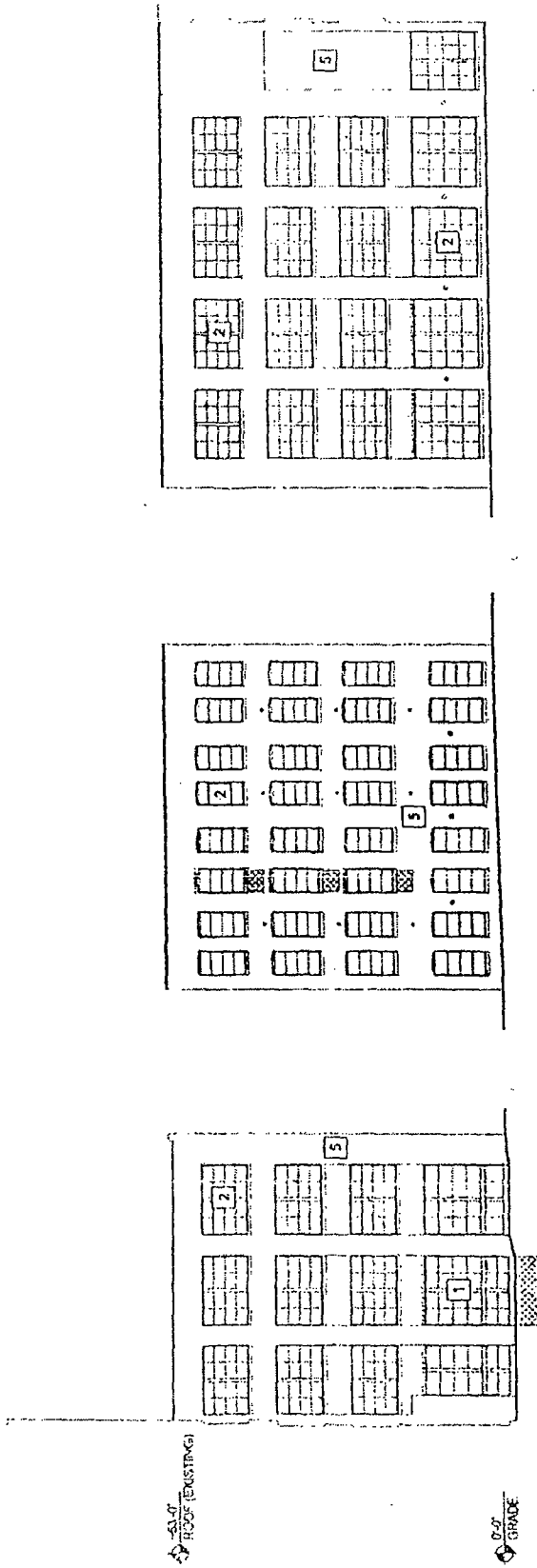
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**BUILDING ELEVATIONS**

2071 N SOUTHPORT | CHICAGO, IL



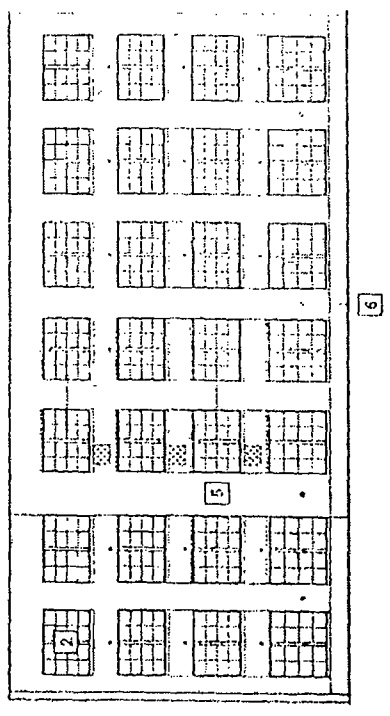
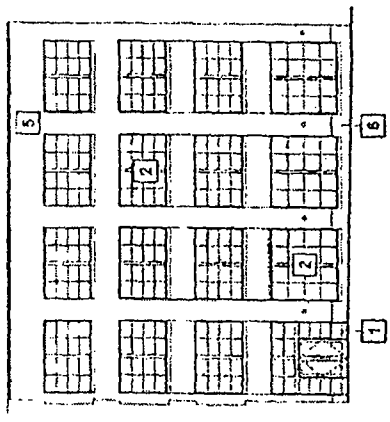
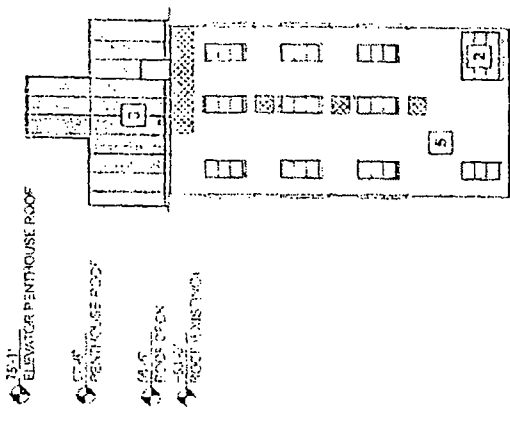
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GRIEARCHITECTS

BUILDING ELEVATIONS  
2071 N SOUTHPORT | CHICAGO, IL

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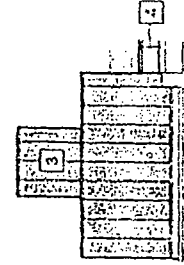
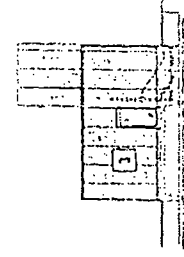


**BUILDING ELEVATIONS**

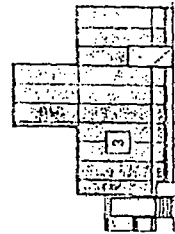
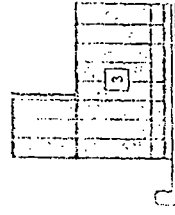
2071 N SOUTHPORT | CHICAGO, IL

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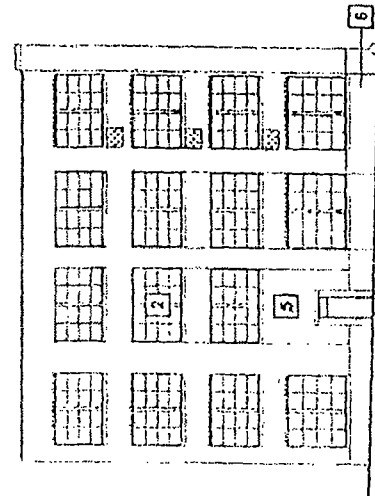
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- 76'-11" ELEVATOR PENTHOUSE ROOF
- 67'-4" PENTHOUSE ROOF
- 14'-6" ROOF DECK
- 53'-0" ROOF (EXISTING)



- 76'-11" ELEVATOR PENTHOUSE ROOF
- 67'-4" PENTHOUSE ROOF
- 54'-5" ROOF DECK
- 53'-0" ROOF (EXISTING)

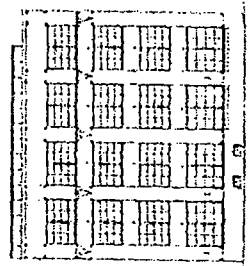


- 53'-0" ROOF (EXISTING)

**BUILDING ELEVATIONS**

2071 N SOUTHPORT | CHICAGO, IL

GIRI ARCHITECTS



55'-6"  
ROOF DECK  
53'-0"  
ROOF (EXIST.)

0'-0"  
GRADE

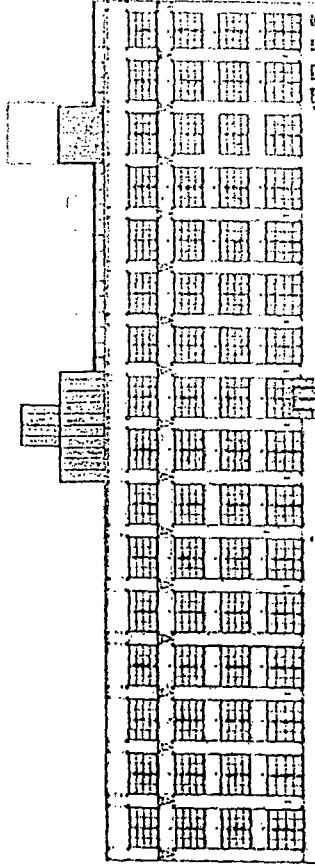
STREET ELEVATION - N. KINGSBURY ST.

75'-11"  
ELEVATOR PENTHOUSE ROOF  
67'-6"  
PENTHOUSE ROOF  
58'-5"  
ROOF DECK  
53'-0"  
ROOF (EXIST.)

27'-5"  
EXIST. RETAIL

0'-0"  
GRADE

STREET ELEVATION - N. SOUTHPORT AVE.



STREETSCAPE ELEVATIONS

2071 N SOUTHPORT | CHICAGO, IL

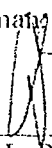
GIRIJC ARCHITECTS



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

MEMORANDUM

To: Alderman Daniel S. Solis  
Chairman, City Council Committee on Zoning

From:   
David L. Reifman  
Chicago Plan Commission

Date: June 21, 2018

Re: ICMA: 2061-2081 North Southport Avenue and 2065-2083 North Kingsbury Street

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On June 21, 2018, the Chicago Plan Commission recommended approval of the proposed Map Amendment for a property located within the North Branch Industrial Corridor submitted by Southport Stay LLC. A copy of the proposed map amendment is attached. I would very much appreciate your assistance in having this introduced at the next possible City Council Committee on Zoning.

Also enclosed is a copy of the staff report to the Plan Commission which includes the Department of Planning and Development, Bureau of Zoning and Land Use recommendation and a copy of the resolution. If you have any questions in this regard, please do not hesitate to contact me at 744-9476.

Cc: Steve Valenziano  
PD Master File (Original PD, copy of memo)