



# City of Chicago



SO2014-2351

Office of the City Clerk

## Document Tracking Sheet

<b>Meeting Date:</b>	4/2/2014
<b>Sponsor(s):</b>	City Clerk (transmitted by)
<b>Type:</b>	Ordinance
<b>Title:</b>	Zoning Reclassification App No. 18014 at 8522 S Lafayette Ave
<b>Committee(s) Assignment:</b>	Committee on Zoning, Landmarks and Building Standards

SUBSTITUTE ORDINANCE

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:**

**SECTION 1:** Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the M2-2 (light industry district) District symbols and indications as shown on Map No. 20-F in the area bounded by:

*The South line of West 85<sup>th</sup> Street; South Lafayette avenue; a line 596.16 feet North of West 87<sup>th</sup> Street; a line 503.51 feet West of South Lafayette Avenue; a line 647.88 feet North of West 87<sup>th</sup> Street as measured along the West line of South Lafayette Avenue; The Westerly Right of Way line of South Wentworth Avenue as extended where no street exists.*

to those of C3-2 (commercial, manufacturing and employment district) subject to such use and bulk regulations as are set forth in this Plan of Development herewith attached and made a part and to no others.

**SECTION 2:** Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the C3-2 (commercial, manufacturing and employment district) District symbols and indications as shown on Map No. 20-F in the area bounded by:

*The South line of West 85<sup>th</sup> Street; South Lafayette avenue; a line 596.16 feet North of West 87<sup>th</sup> Street; a line 503.51 feet West of South Lafayette Avenue; a line 647.88 feet North of West 87<sup>th</sup> Street as measured along the West line of South Lafayette Avenue; The Westerly Right of Way line of South Wentworth Avenue as extended where no street exists.*

to those of Commercial Institutional Planned Development No. subject to such use and bulk regulations as are set forth in this Plan of Development herewith attached and made a part and to no others.

**SECTION 3:** This Substitute Ordinance takes effect after its passage and approval.

Common Property Address: 8522 S. Lafayette, Chicago, IL 60620

PLANNED DEVELOPMENT NO. \_\_\_\_\_

BULK REGULATIONS TABLE

<b>Gross Site Area:</b>	627,931 Square Feet
<b>Area in Public Right-of-Way:</b>	213,991 Square Feet
<b>Net Site Area:</b>	413,490 Square Feet
<b>Maximum Floor Area Ratio:</b>	2.2
<b>Maximum Building Height:</b>	46'-0"
<b>Minimum Number of parking Spaces:</b>	556 total stalls, entire site; 19 ADA stalls
<b>Minimum Number of Loading Berths:</b>	3
<b>Minimum Number of Bicycle Parking Spaces:</b>	50
<b>Minimum Setbacks:</b>	As per plans

<b>Applicant:</b>	Fellowship Educational & Economic Development Corp.
<b>Address:</b>	8522 South Lafayette Avenue, Chicago Illinois 60620
<b>Date Introduced:</b>	April 2, 2014
<b>Plan Commission:</b>	May 15, 2014

**Commercial Institutional**  
**PLANNED DEVELOPMENT STATEMENTS**

1. The area delineated herein as Commercial Institutional Planned Development Number \_\_\_\_\_, ("Planned Development") consists of approximately six hundred twenty-seven thousand nine hundred thirty-one (627,931) square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by the Applicant, Fellowship Educational & Economic Development Corp.
  
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
  
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assign or grantees. Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Plans.

Ingress or egress shall be pursuant to the Plans and may be subject to the review and approval of the Department of Planning and Development and the Department of Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II approval, the submitted plans must be approved by the Department of Transportation.

4. This Plan of Development consists of 16 Statements: a Bulk Regulations Table; an Existing Zoning and Land Use Map; a Planned Development Boundary and Property Line Map; a Site Plan; a Master Phase Plan; Main Level Master Floor Plan; Second Level Master Floor Plan, a Landscape Plan; Landscape Analysis & Notes; a Green Roof Plan; Building Elevations (North, South, East and West), including the new roof area to the West of the Building and dated May 15, 2014, submitted herein. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development Ordinance and the Zoning Ordinance, this Planned Development Ordinance shall control.
5. The Property consists of a single 223,000 square foot existing building which shall be divided based upon the Master Phase Plan Exhibit and shall be redeveloped during three (3) separate

phases:

Phase 1A: The First Floor Build-out of the School Phase & Fire Lane;

Phase 1B: The Second Floor Build-out of the School, the School Gym, the Service Retail Area, and the Exterior Site Work (Parking Area); and

Phase 2: Church/Auditorium Phase, including a Green Roof meeting the Green Roof requirements of the City of Chicago's Sustainable Development Policy.

6. The following uses are permitted by right in the area delineated herein as a Planned Development: *day care, community center, school, religious assembly, restaurant (limited only), accessory parking, medical service and accessory uses as authorized by the Chicago Zoning Ordinance. Large venues, banquet and meeting hall and retail uses within this Planned Development shall only be permitted as accessory to the religious assembly use. Furthermore, any retail establishment must have a minimum of 7,500 square feet of gross floor area, retail uses smaller than this shall be prohibited.*
7. On-Premise signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-Premise signs are prohibited within the boundary of the Planned Development.
8. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
9. The maximum permitted Floor Area Ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the

definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a Net Site Area of 413,490 square feet.

10. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review Fee shall be assessed by the Department of Housing and Economic Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
11. The Site improvements on the property and Landscape Plans shall be designed, constructed, renovated and maintained in substantial conformance with the approved Site Plans and Exhibits, the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
12. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Environment and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
13. The terms, conditions and exhibits of the Planned Development ordinance may be modified administratively, pursuant to section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the request of the Applicant, its successors and assigns, and after a determination by the Zoning Administrator that such modification is minor, appropriate, consistent with Section 17-13-0611 of the Chicago Zoning Ordinance and the nature of the development of the property contemplated in this Planned Development ordinance. Any such

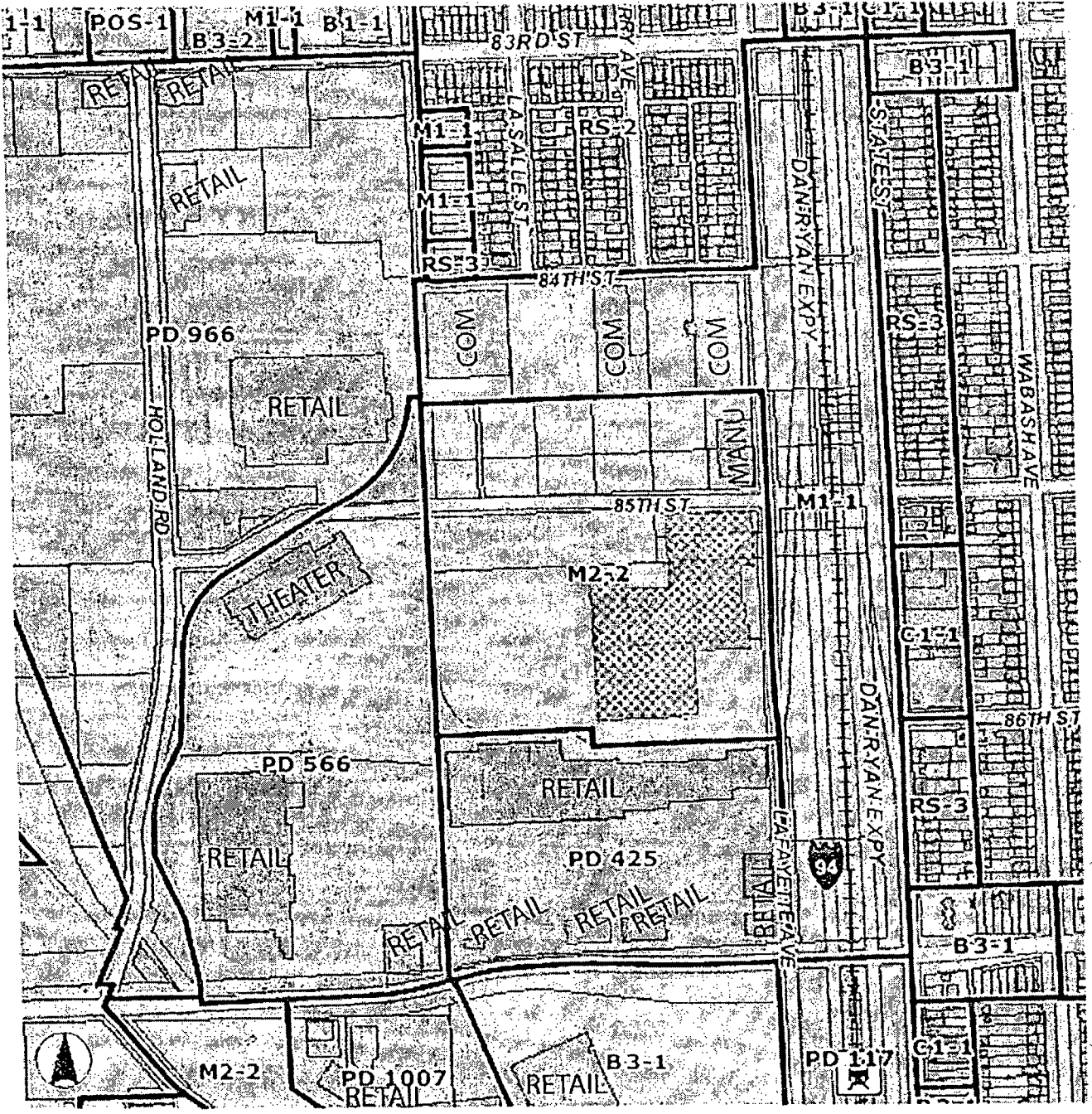
modification shall be deemed to be a minor change in the Planned Development ordinance as contemplated by Section 17-13-0601 of the Chicago Zoning Ordinance.

14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain the project in a manner that promotes, enables and maximizes universal access throughout the property. Plans for the existing building and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities (MOPD) to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No building permit shall be issued by the Department of Construction and Permits until the director of MOPD has approved detailed construction drawings for the existing building and any improvements.
  
15. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain the building in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The distribution of the total required green roof scopes, over what areas they are implemented and during which proposed phases they are implemented has been agreed upon with the representatives of the City of Chicago Department of Planning and Development as shown on the Green Roof Plan and shall consist of 100% of the required green scope amount of 15,954 sq. ft. for the Phase 2 church/community center areas which shall be installed during Phase 2. Due to existing building structural considerations, the remaining 60,940 sq. ft. of required green roof scope for proposed Phase 1A and 1B will be distributed over the remainder of the Phase 2 roof, covering it entirely. The remaining difference of 13,079 sq. ft. of green roof will be installed over the central proposed Phase 1B roof, thus satisfying the total project green roof requirement of 76,894 sq. ft. at project completion.

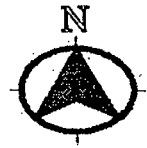


16. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance.

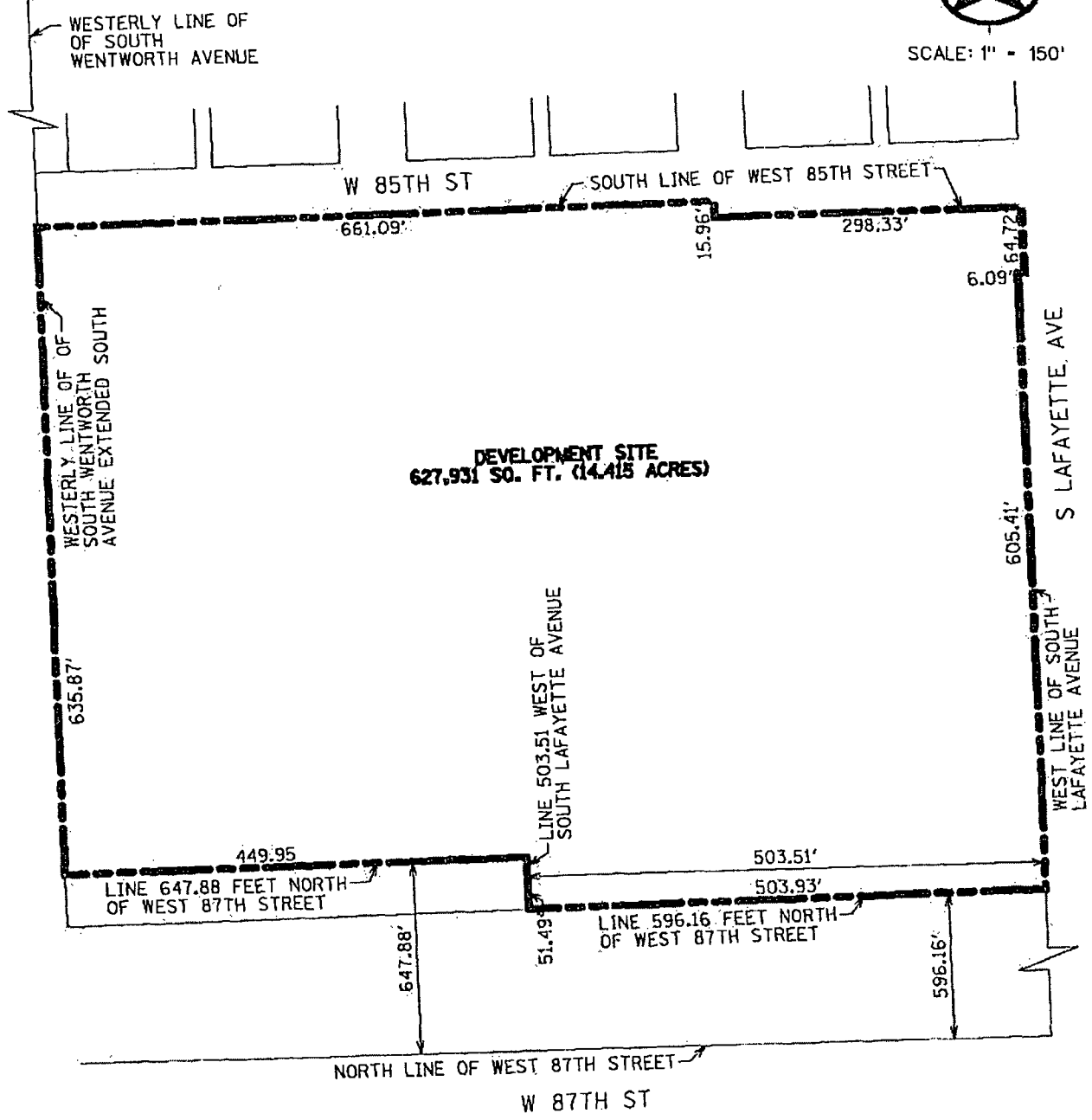
Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning Development shall initiate a Zoning Map Amendment to rezone the Property from M2 to C3-2 and then to Planned Development.



 BUILDING TO BE RENOVATED & REPURPOSED

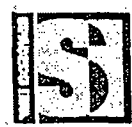


SCALE: 1" = 150'



### PD BOUNDARY AND PROPERTY LINE MAP

APPLICANT: FELLOWSHIP EDUCATIONAL & ECONOMIC DEVELOPMENT CORP.  
 ADDRESS: 8522 SOUTH LAFAYETTE AVENUE  
 INTRODUCTION DATE: FEBRUARY 20, 2014



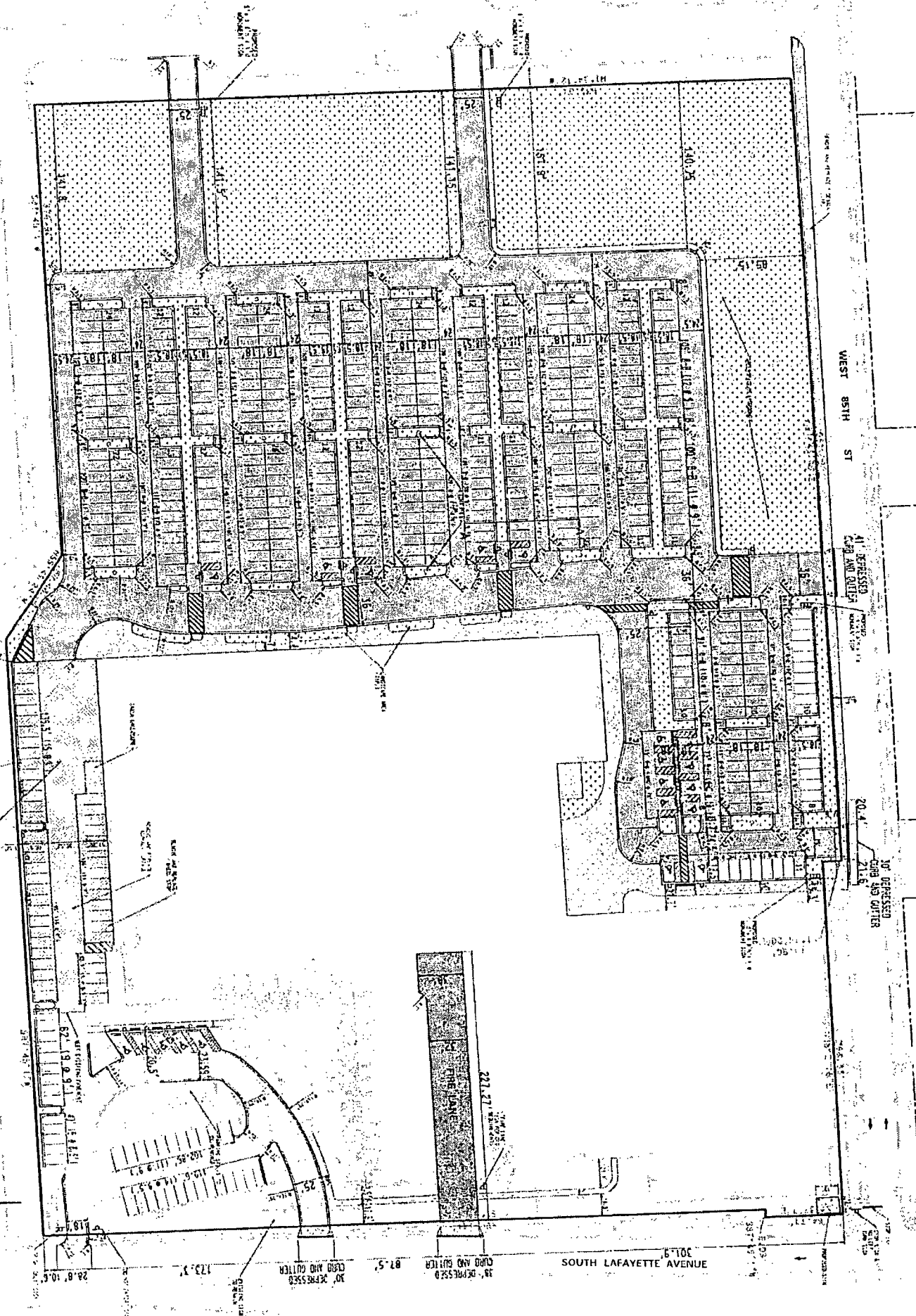
CONSULTING ENGINEERS  
 SITE DEVELOPMENT ENGINEERS  
 LAND SURVEYORS

9578 W. Higgle Road, Suite 700,  
 Rosemont, Illinois 60018  
 Phone: (847) 894-4040 Fax: (847) 894-4065

SITE PLAN

**LEGEND**

- [Symbol] 2'-0" G.D. DRIVE
- [Symbol] 2'-0" G.D. SIDEWALK
- [Symbol] 12'-0" G.D. SIDEWALK
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SHAW-CORRIGAN INC.  
 100 WEST 10TH STREET  
 OMAHA, NE 68102  
 (402) 552-2200  
 WWW.SHAW-CORRIGAN.COM

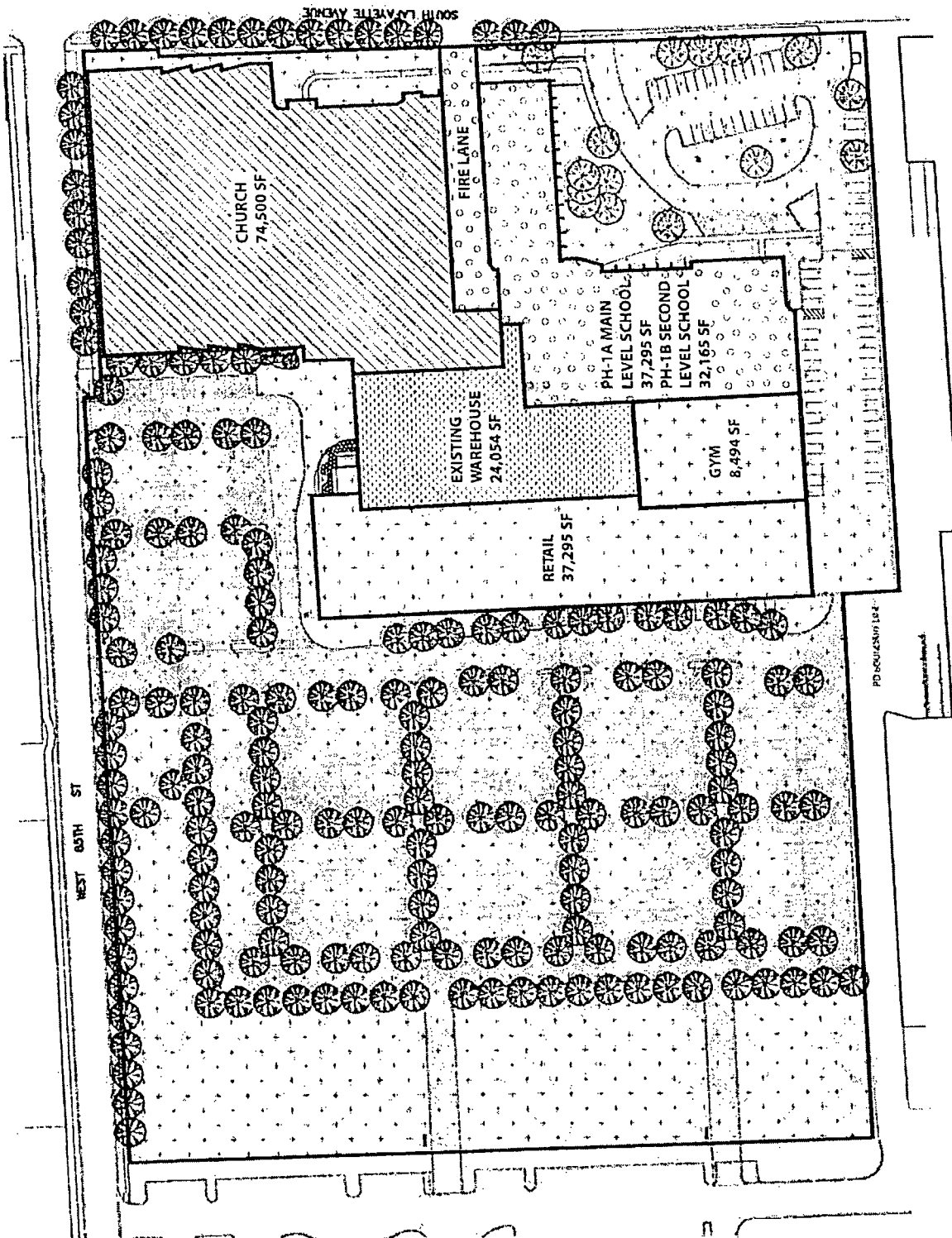
**PHASES**

PHASE 1A:  
MAIN LEVEL SCHOOL  
AND FIRE LANE

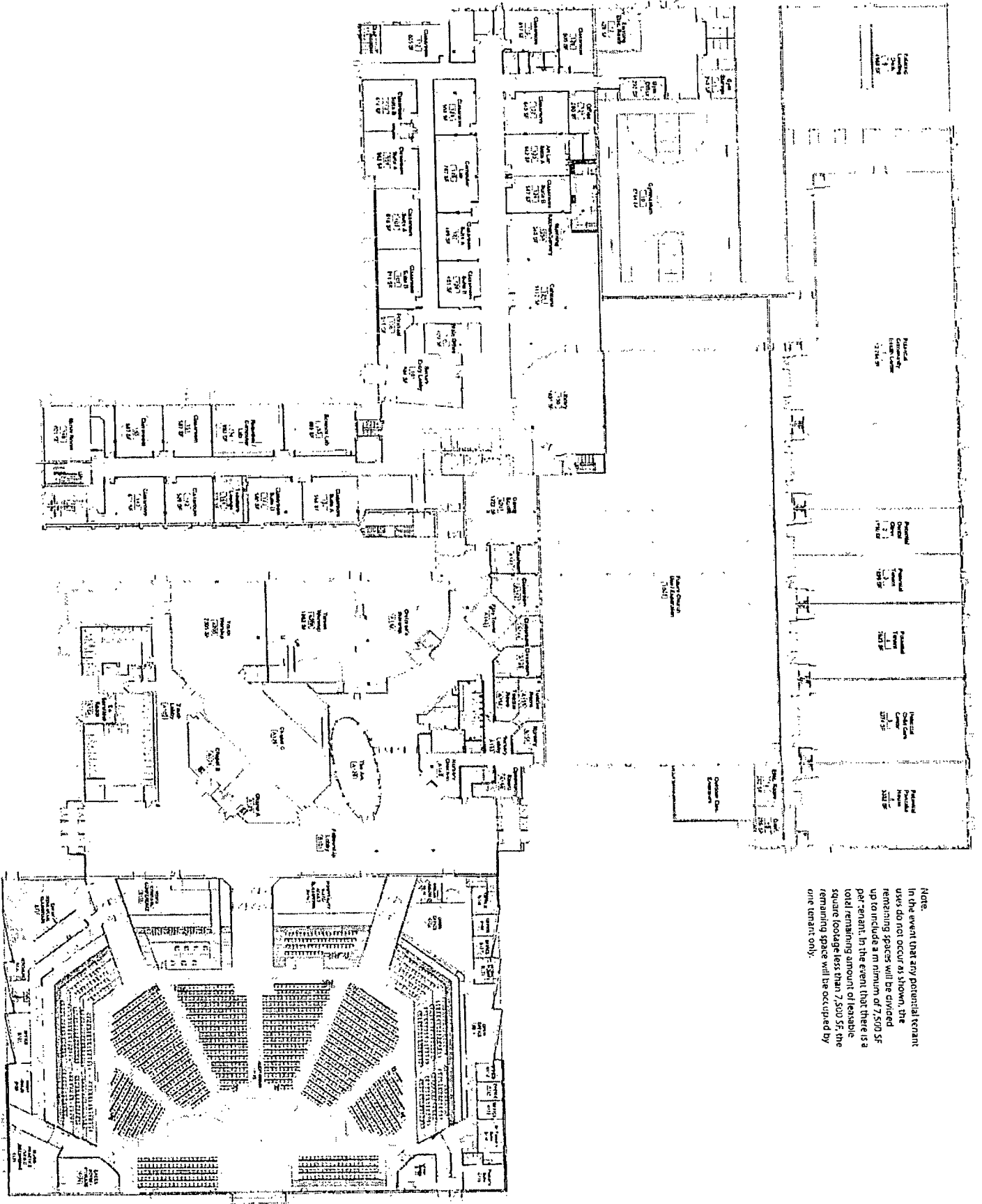
PHASE 1B:  
SECOND LEVEL SCHOOL,  
GYM, RETAIL, AND SITE

PHASE 2:  
CHURCH

EXISTING WAREHOUSE

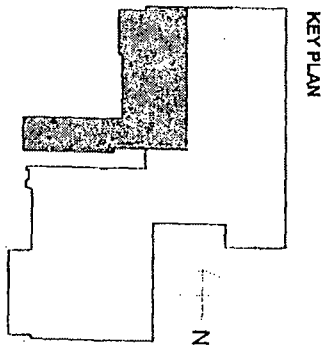
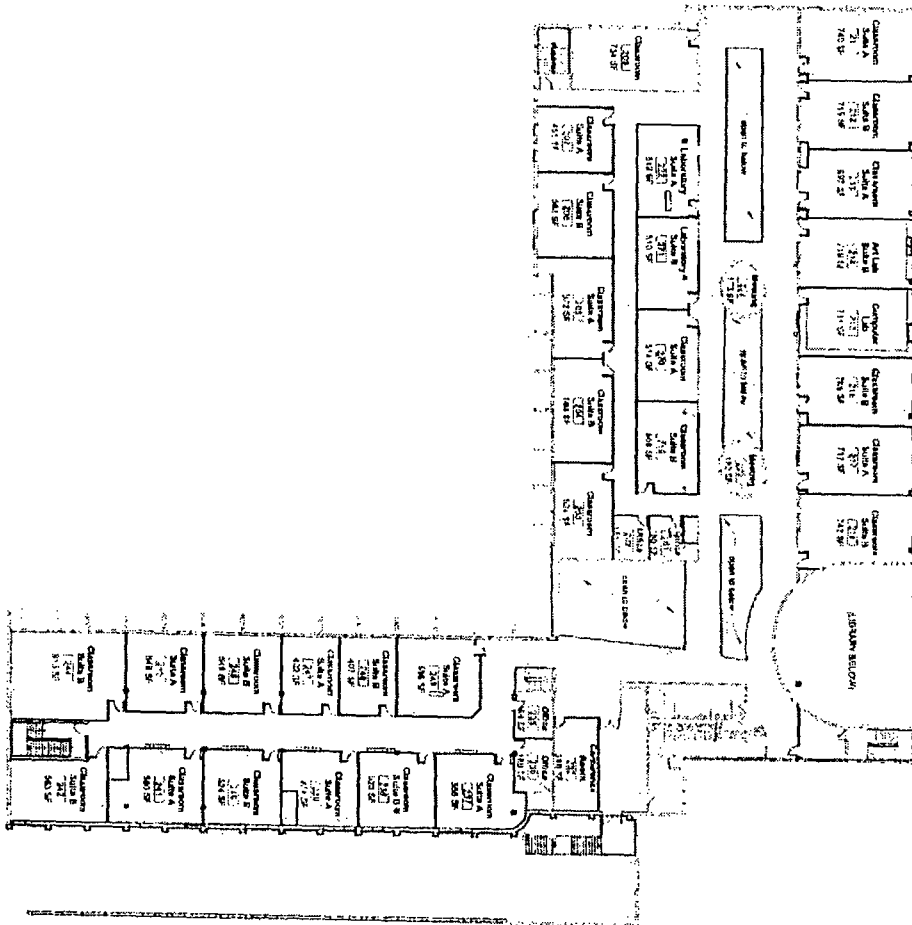


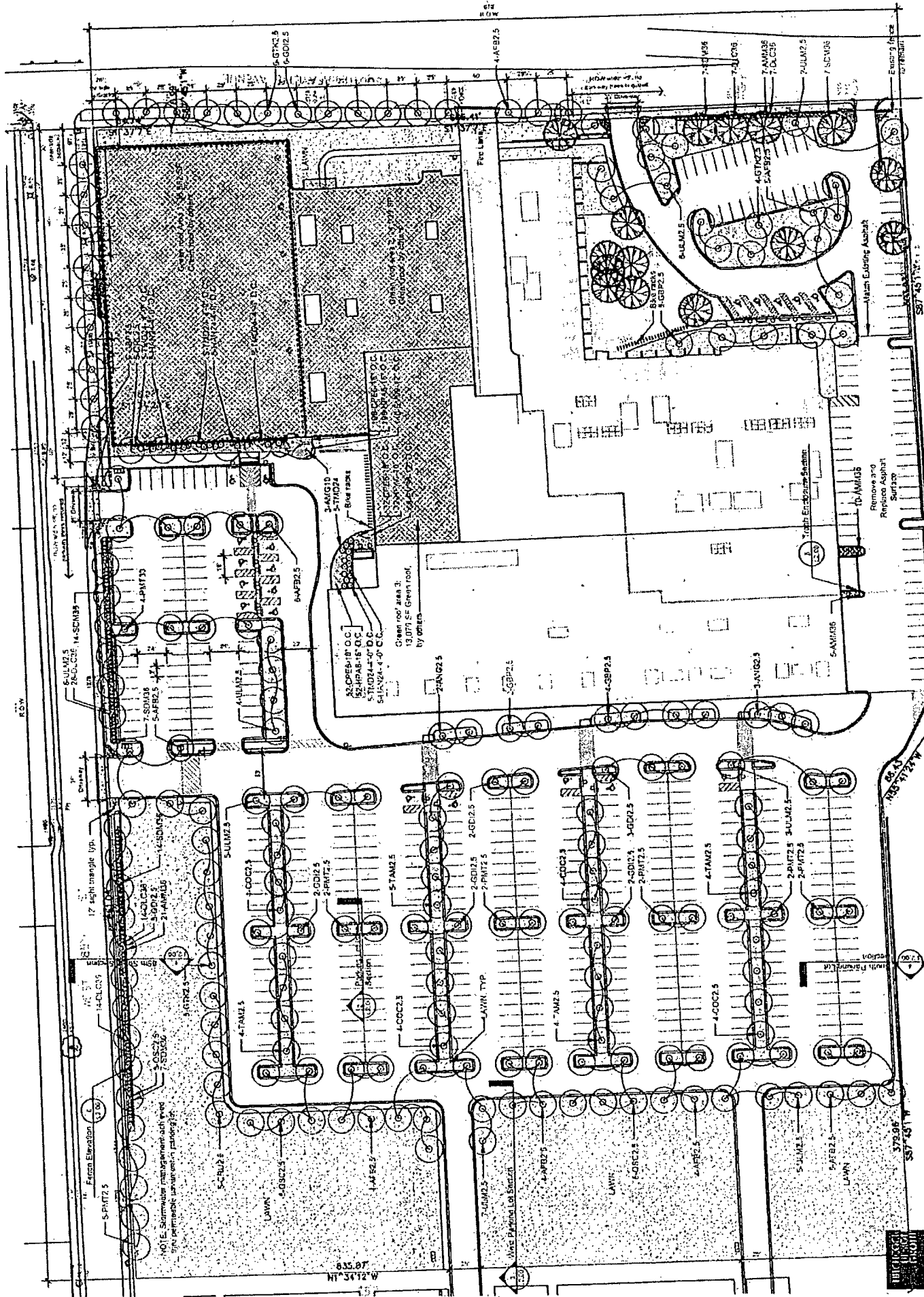
MAIN LEVEL MASTER FLOOR PLAN



Note:  
In the event that any potential tenant uses do not occur as shown, the remaining spaces will be divided up to include a minimum of 7,500 SF per tenant. In the event that there is a total remaining amount of leasable square footage less than 7,500 SF, the remaining space will be occupied by one tenant only.

SECOND LEVEL MASTER FLOOR PLAN





- Green Tree
- Dwarf Tree 24" incl. HT 232 total 158 dia.
- Medium Tree 24" incl. HT 232 total 158 dia.
- Large Tree 24" incl. HT 232 total 158 dia.
- Planting
- Circular Tree 30" dia.
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- Circular Tree 1086" dia.
- Circular Tree 1092" dia.
- Circular Tree 1098" dia.
- Circular Tree 1104" dia.
- Circular Tree 1110" dia.
- Circular Tree 1116" dia.
- Circular Tree 1122" dia.
- Circular Tree 1128" dia.
- Circular Tree 1134" dia.
- Circular Tree 1140" dia.
- Circular Tree 1146" dia.
- Circular Tree 1152" dia.
- Circular Tree 1158" dia.
- Circular Tree 1164" dia.
- Circular Tree 1170" dia.
- Circular Tree 1176" dia.
- Circular Tree 1182" dia.
- Circular Tree 1188" dia.
- Circular Tree 1194" dia.
- Circular Tree 1200" dia.

LANDSCAPE PLAN

ASPEN GROUP

635.07  
N 542'2 W

375.96  
S 57'45" W

17.00



**Landscape Ordinance Analysis**

Fellowship Educational & Economic Development Corp  
 W. 85th Street

Length	350 LF (20% LF is required @ minimum width)
Number of trees required (1 per 25 LF)*	11
Number of existing trees to remain	0
Number of new trees provided	9
<b>S. Lafayette Avenue</b>	
Length	570 LF (41% LF is required @ minimum width)
Number of trees required (1 per 25 LF)*	16
Number of existing trees to remain	0
Number of new trees provided	16

\* ROW is less than 5' FT from back of curb to property line. No street trees required

**Owner's Sworn Statement**

The undersigned acknowledges that the landscape plan shown on the attached landscape plan for the property at 6522 South Lafayette Avenue, Chicago Illinois 60620, has, to the best of the undersigned applicant's knowledge, been designed, and will be installed, maintained, and replaced, as required, by current and subsequent owners, in accordance with the requirements of Title 10, Chapter 37 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance and the "Guide to the Chicago Landscape Ordinance."

Existing pathway and on-site interior trees are to be protected while the project is under construction and will be replaced by current and subsequent owner if damaged.

By: (Owner)

Date

**Landscape Ordinance Analysis**

Fellowship Educational & Economic Development Corp  
 South Lafayette Street Parking Lot Landscape

Total paving SF	44,539 SF
Landscape area required	4,454 SF
Provided	11,629 SF
Internal trees required	35
Existing trees to remain	9
Provided	23
Perimeter landscape provided	Yes
Ornamental fence provided	Yes

West 85th Street Parking Lot Landscape

Total paving SF	186,360 SF
Landscape area required	18,636 SF
Provided	81,727 SF
Internal trees required	149
Provided	145
Perimeter landscape provided	Yes
Ornamental fence provided	Yes

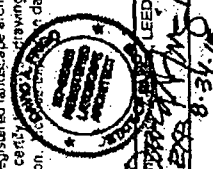
**Landscape Architect's Sworn Statement**

The undersigned landscape architect, registered in the State of Illinois, acknowledges that the landscape plan and construction details shown on the attached landscape plan for the property at 6522 South Lafayette Avenue, Chicago, Illinois 60620, has, to the best of the undersigned applicant's knowledge, been designed in accordance with the requirements of Title 10, Chapter 37 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the Guide to the Chicago Landscape Ordinance.

I, David Frigo, registered landscape architect No. 157-0005386 in the State of Illinois, certify that the drawings were prepared under my direct supervision, on the date August 31, 2015.

David Frigo, LEED, Hitotsubo Design Group

Date



**Green Roof Eligibility Analysis**

Total roof area	185,655 SF
Green roof coverage required	76,954 SF
Green roof Area 1	39,882 SF
Green roof Area 2	24,633 SF
Green roof Area 3	13,079 SF

**Green Roof Planting Notes**

1. Drawings shall be hand drawn at a rate specified on the landscape plan, typically between 8:10 to 10:1.
2. Distribute variables as shown on landscape plan.
3. The drawings shall be prepared to ensure a random distribution of section variables.
4. After showing the cuttings shall be covered with a temporary mesh covering with a lightweight erosion control blanket designed for vegetation establishment shall be rolled out and installed over the cuttings as per manufacturer's recommendations.
5. The newly installed plugs, cuttings or vegetation shall be immediately and thoroughly watered.
6. Irrigation must be installed until the plugs, cuttings or vegetation are established and the growing media on the roof.
  - a. Dasher 2 1/2" water, 3 times per week for the first 2 weeks.
  - b. Dasher 2 1/2" water, 1.2 times per week for the next 4 weeks.
 Contractor responsible for green roof maintenance for one year at which point material must be 90% established.
- 7.

**Fence Notes**

1. Finish coat is to be black, paint to be compatible with former. Submit samples of finish prior to installation for approval by owner.
2. Submit manufacturer's product data, specifications, and installation instructions for paint products.
3. Submit shop drawings including plans, elevations, and section details of connections. Show anchorage and accessory items. No work shall be fabricated until shop drawings for the work have been reviewed and accepted.
4. Provide 4" deep (from finish grade) knee pad bearings that are a minimum of 8" wider than the post. Confirm post sizes in the footings and base plates.
5. Provide metal fabrications work square, plumb, straight and with appropriate tolerances.
6. Inspect sub-frames field measure, and verify conditions.
7. Perform cleaning during installation of the work and upon completion of work. Remove form oils or excess materials, debris, equipment. Repair any damages resulting from metal fabrications work.
8. Existing parking lot paving along Lafayette to remain.

**Existing Tree Notes**

1. There are no existing trees along the 85th Street or South Lafayette Avenue ROWs.

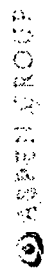
**Planting Notes**

1. Seedling line is approximate. Seed to limits of grading and disturbance. Contractor responsible for installation of any unannounced disruption contacts or designated construction area.
2. Contractor responsible for erosion control in all seeded areas.
3. Trees must meet all tree specs in 5' x 5' box diameter. Typical Contractor shall provide a 4" mulch ring around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide a typical 4" x 4" edge.
4. Bedlines are to be grade out to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
5. Do not locate plants within 10' of utility structures, or within 3' horizontally of underground utility lines unless otherwise shown on the plans. Consult with Landscape Architect if these conditions exist.
6. Plants and other materials are specified and summarized for the convenience of the Owner and Architectural Approval only. Contractor must provide quantities to complete the work as shown and specified.
7. Refer to specifications for additional conditions, standards and details.

LANDSCAPE ANALYSIS & NOTES

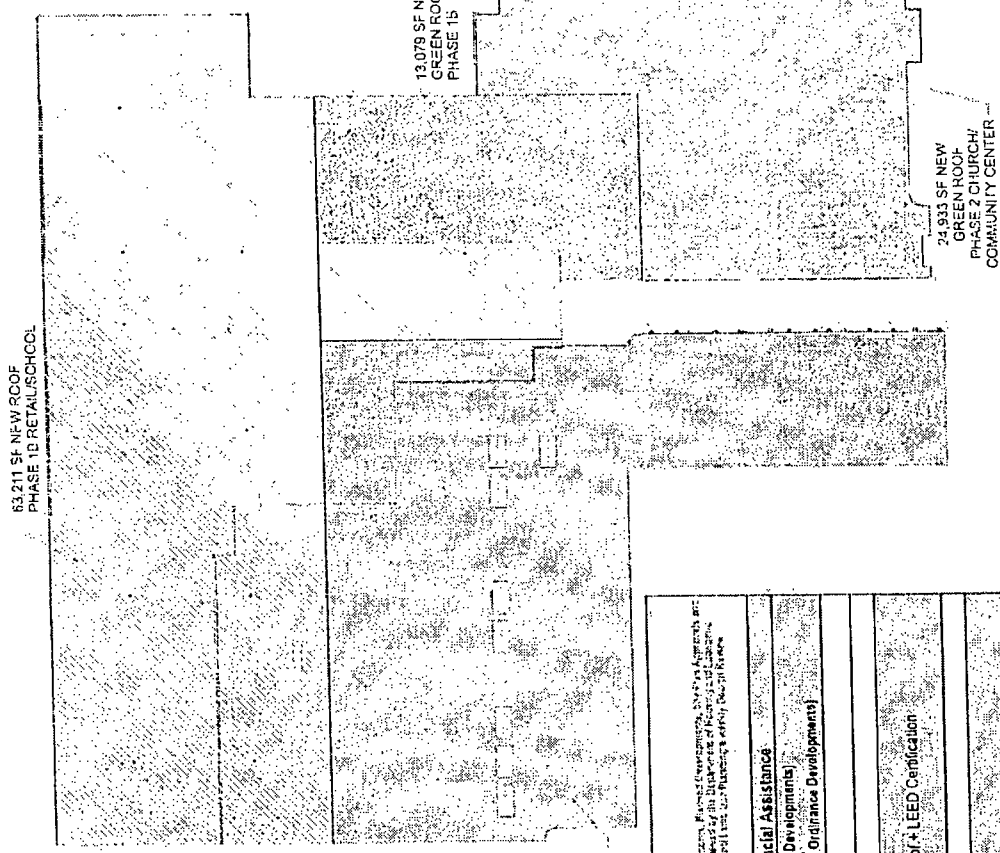
ASPEN GROUP





**BUILDING ROOF SQUARE FOOTAGE SUMMARY**

PHASE 1A SCHOOL	48,823 SF EXISTING ROOF TO REMAIN*
PHASE 1F SCHOOL/RETAIL	63,211 SF NEW ROOF
SUBTOTAL	112,034 SF NEW GREEN ROOF
PHASE 2 CHURCH	17.1% OF PHASE 1F = GREEN ROOF**
SUBTOTAL	24,933 SF NEW GREEN ROOF
	38,882 SF NEW GREEN ROOF
	53,875 SF NEW GREEN ROOF
	100% OF PHASE 2 = GREEN ROOF
<b>TOTAL NEW GREEN ROOF:</b>	<b>75,894 SF</b>
<b>TOTAL ROOF SF:</b>	<b>185,695 SF</b>
	<b>41.4% OF PROJECT TO HAVE GREEN ROOF AT PROJECT COMPLETION</b>



**PROJECT ROOF REQUIREMENT SUMMARY (CHICAGO GREEN MATRIX)**

FOR ALL INSTITUTIONAL COMMUNITY CENTER AND SCHOOL SCOPES OF WORK:

- MUST BE 25% GREEN ROOF + LEED CERTIFICATION FOR NEW PORTION OF THE BUILDING

FOR ALL EXISTING BUILDING SCOPES OF WORK:

- THE AREA OF GREEN ROOF COVERAGE WILL BE BASED ON THE NET AREA OF ROOF, WHICH IS DEFINED AS THE USEABLE SPACE OF THE ROOF INCLUDING PATHWAYS, UP TO 10% OF THE GREEN ROOF AREA CAN BE HARDSCAPE. REMAINDER OF ROOF MUST MEET ENERGY STAR LEVEL FOR ELECTRICITY
- PROJECTS CHOOSING TO EXCEED ASHRAE 90.1-2004 MUST EXCEED THE STANDARDS BY 14%.
- BUILDING CERTIFICATION CAN BE LEED, ENERGY STAR, OR CHICAGO GREEN HOMES.

48,823 SF EXISTING ROOF TO REMAIN PHASE 1A SCHOOL

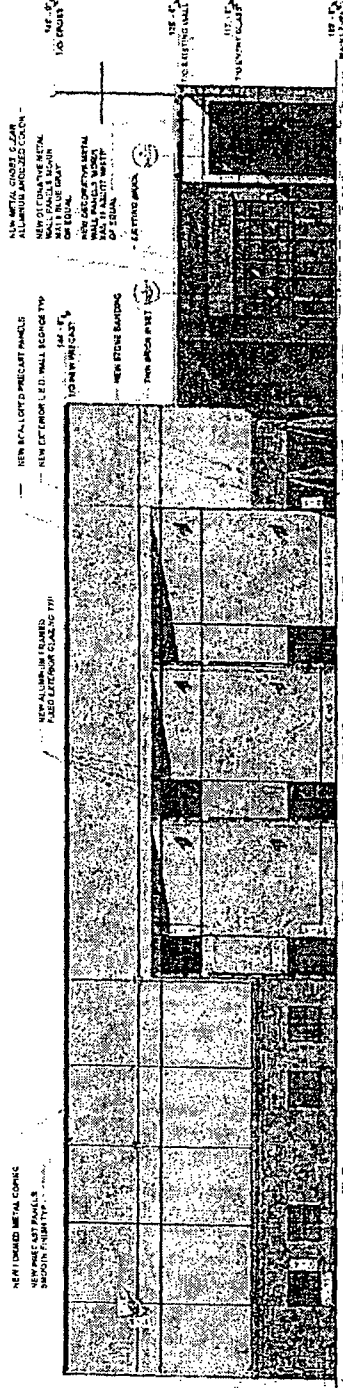
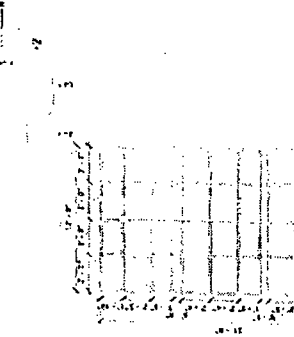
**APPLICABLE GREEN MATRIX SECTIONS**

<p>City of Chicago Sustainable Development Policy</p> <p>Policy that guides the City's investment, financial development, and land use decisions to address the challenges of climate change, air quality, and water resources. The policy is intended to guide the City's investment, financial development, and land use decisions to address the challenges of climate change, air quality, and water resources.</p>	<p><b>Institutional</b></p> <p>Community Centers, Government Buildings, and Schools</p>	<p>25% Green Roof + LEED Certification</p>
	<p><b>Existing Buildings*** and Landmark Buildings</b></p>	<p>90% Green Roof, exceed ASHRAE 90.1-2004</p>

**\*GREEN ROOF SCOPE DISTRIBUTION NARRATIVE:**

The master plan of the project encompasses "Existing Building" use types including school and retail phases as well as "Institutional" use types including a church / community center phase. According to the "City of Chicago Sustainable Development Policy Green Matrix" as seen on this page, the proposed Phase 1A/1B school and Phase 1B retail phases which involve 48,823 SF and 73,057 SF of roof respectively must provide 50% of the existing building's roof scope to be green roof, equating to 60,940 SF of new green roof required. For the proposed Phase 2 church / community center phase which involves 38,882 SF and 24,933 SF respectively, it is stated that 25% of the new roof scope must be a green roof, equating to 15,954 SF of new green roof required. The total green roof required of the two use types equates to 76,894 SF. The distribution of the total required green roof scopes, over what areas they are implemented, and during which proposed phases they are implemented has been agreed upon with representatives from the "City of Chicago Zoning and Land Use Planning Sustainable Development" department as shown in the green roof plan graphic on this page as follows: 100% of the required green roof scope amount of 15,954 SF for the Phase 2 church / community center areas will be installed during that phase. Due to existing building structural considerations, the remaining 60,940 SF of required green roof scope for proposed Phase 1A and Phase 1B will be distributed over the remainder of the Phase 2 roof covering it entirely. The remaining difference of 13,079 SF of green roof will be installed over the central proposed Phase 1B roof, thus satisfying the total project green roof requirement of 76,894 SF at project completion.

ELEVATION KEY

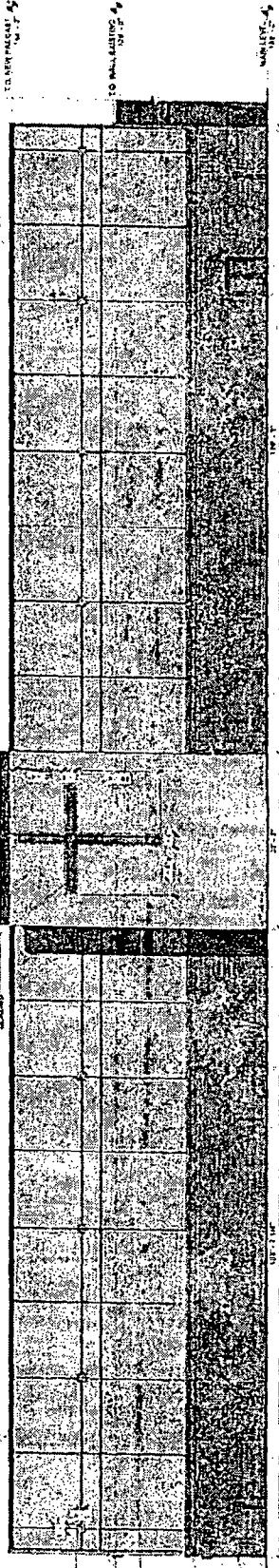


NEW TONED METAL CORNER  
NEW PRECAST PANELS  
SMOOTH FINISH TYP.

NEW CAST STONE  
REPAIR FINISH TYP.  
NEW CAST  
STONE BANDING  
TYP. BRICK (R11)  
NEW ALUMINUM  
FRAMED  
GLASS TYP.

1 RENDERED WEST ELEVATION

1B WEST ELEVATION DETAIL



CAST STONE  
METAL CORNER  
FINISH TYP.  
NEW ALUMINUM  
FRAMED  
GLASS TYP.

2 RENDERED NORTH ELEVATION

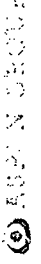


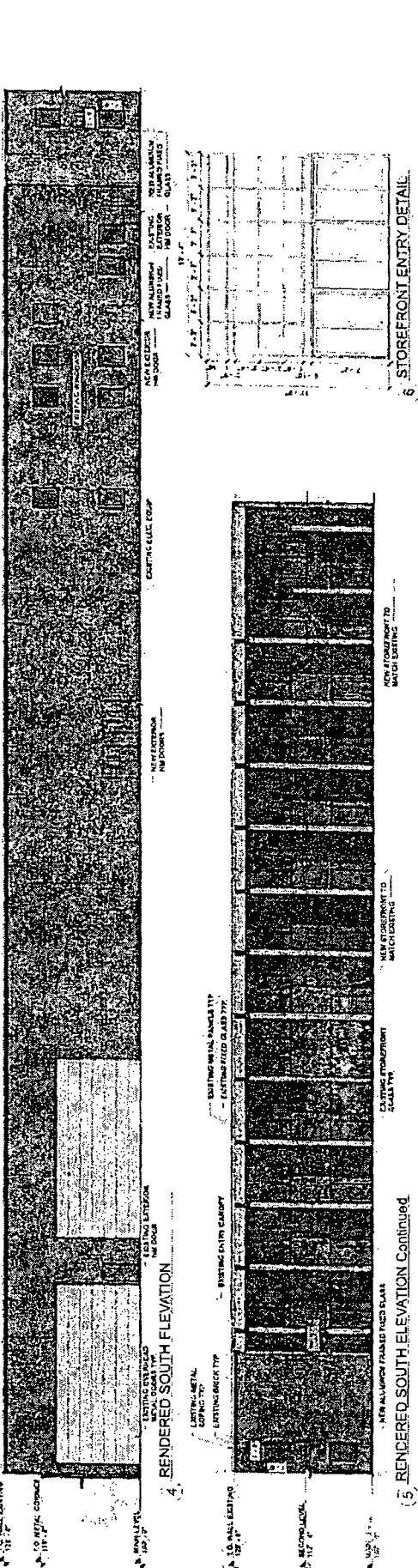
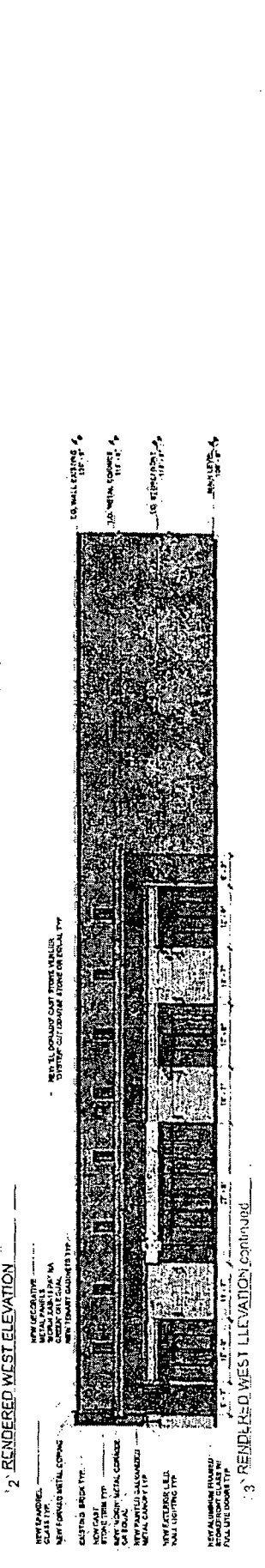
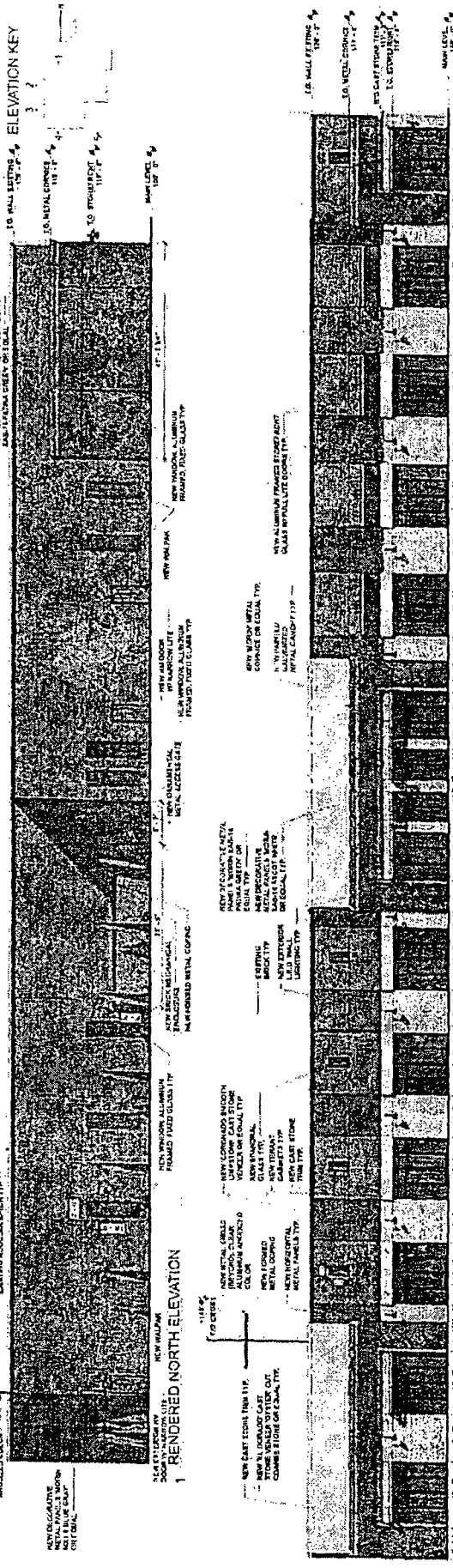
3 RENDERED EAST ELEVATION

NEW ALUMINUM  
FRAMED  
GLASS TYP.  
NEW ALUMINUM  
FRAMED  
GLASS TYP.  
NEW ALUMINUM  
FRAMED  
GLASS TYP.  
NEW ALUMINUM  
FRAMED  
GLASS TYP.

4 RENDERED EAST ELEVATION Continued.

BUILDING ELEVATIONS



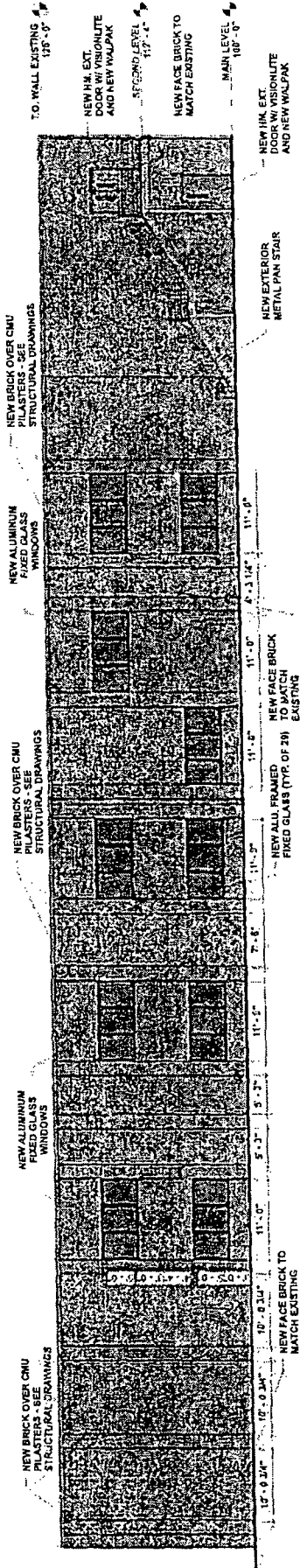


1 RENDERED NORTH ELEVATION

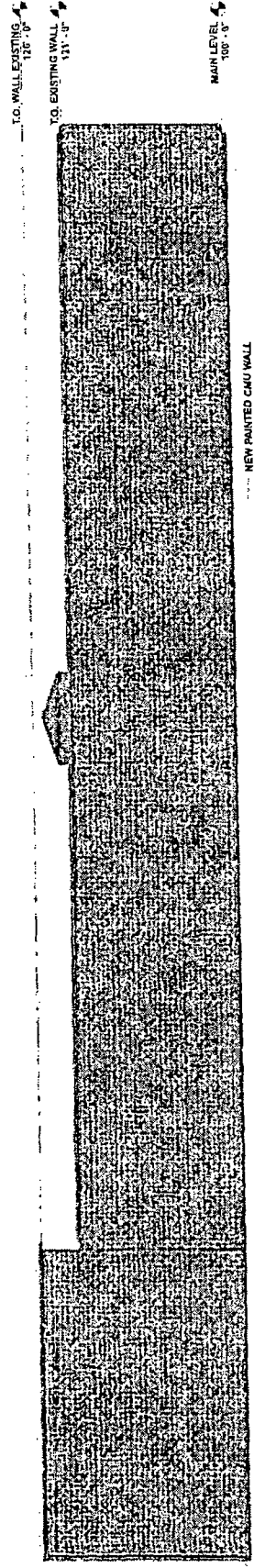
2 RENDERED WEST ELEVATION

3 RENDERED SOUTH ELEVATION

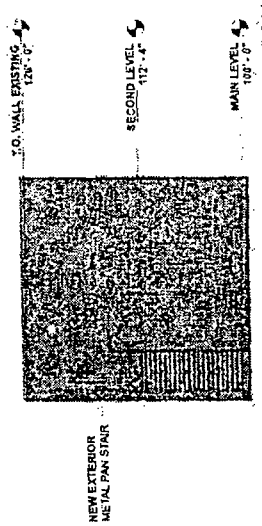
6 STOREFRONT ENTRY DETAIL



1. RENDERED SOUTH FRONTAGE ELEVATION



2. RENDERED NORTH FRONTAGE ELEVATION



3. RENDERED WEST FRONTAGE ELEVATION

ELEVATION KEY

