



City of Chicago



O2015-8474

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	12/9/2015
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 7-G at 2744 N Southport Ave - App No. 18589T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

#18589T1
INTRO DATE
Dec 9, 2015

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance is hereby amended by changing all of the M2-2, Light Industry District symbols as shown on Map No. 7- G in the area bounded by:

A line 132 feet South of and parallel to West Diversey Parkway; North Southport Avenue; a line 156.74 feet South of and parallel to West Diversey Parkway; a public alley next West of and parallel to North Southport Avenue.

To those of an RT4, Residential Two-Flat, Townhouse and Multi-Unit District

SECTION 2. This Ordinance takes effect after its passage and due publication.

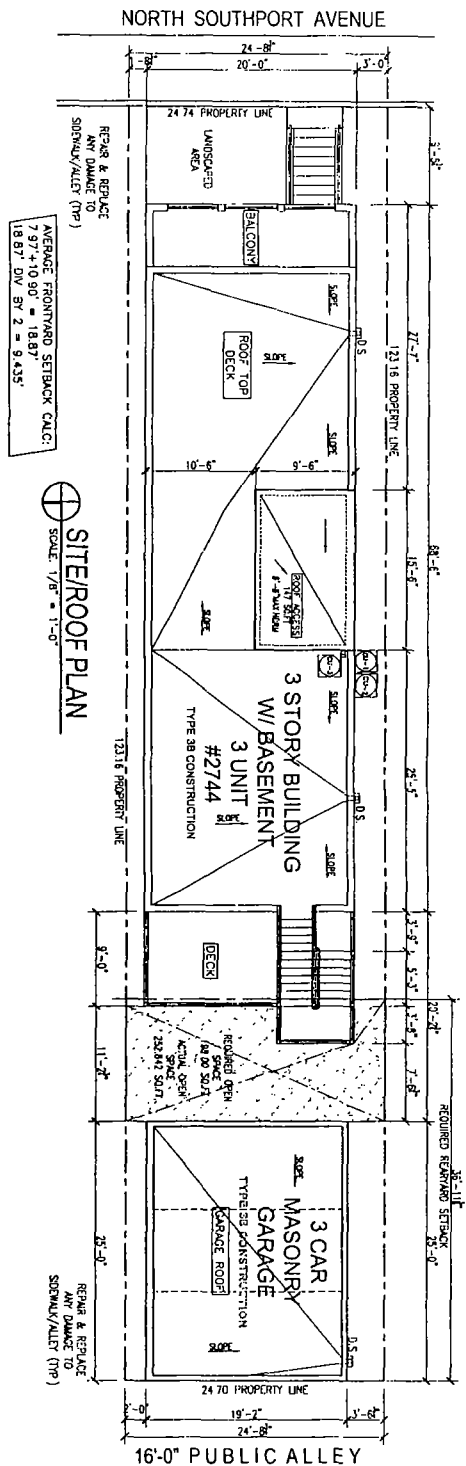
Common address of property: 2744 North Southport Avenue, Chicago IL.

**NARRATIVE FOR TYPE 1 REZONING FOR
2744 NORTH SOUTHPORT AVENUE, CHICAGO, ILLINOIS**

The subject property is currently improved with a commercial building. The applicant plans to demolish the existing building and build a new three-story, 3 dwelling unit residential building. The Applicant needs a zoning change to comply with the minimum lot area and the maximum floor area requirements of the zoning ordinance.

Project Description:	Zoning Change from M2-2 to RT4
Use:	Residential building with 3 dwelling units
Floor Area Ratio:	1.2
Lot Area:	3,045 SF
Building Floor Area:	3,650 SF
Density:	1,015 SF per DU
Off- Street Parking:	Parking spaces: 3
Set Backs:	Front: 9'-5 ¼" Side: South – 3'-0" / North – 1'-8 ¾" Rear: 36'-11 3/8" Rear Yard Open space: 252.8 SF
Building Height:	37'-10"

FINAL FOR PUBLICATION



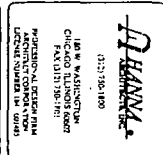

SITE/ROOF PLAN
 SCALE: 1/8" = 1'-0"

ZONING DATA:

LOT AREA	-	24,704.123.16	=	3,042,052	SQ FT.
F.A.R.	-			1 ²	
MAX. BUILDABLE	-			3,650	462 SQ FT.
BUILDING SQUARE FOOTAGE:					
1ST FLOOR	-	1,150.00	SQ.FT.		
2ND FLOOR	-	1,250.00	SQ.FT.		
3RD FLOOR	-	1,250.00	SQ.FT.		
TOTAL				3,650.00	SQ FT.

FINAL FOR PUBLICATION

© MAMMA ARCHITECTS, INC. 2018



WARNING:
This plan presented under Copyright Law Original Matter existing on file at the Architect's office can be reproduced with the Architect's permission only if written notice is sent. Use plan without John Green (318) 766-1800

ISSUED FOR REVIEW
ISSUED FOR PRESENT
ISSUED FOR AID
ISSUED FOR COMSTEN

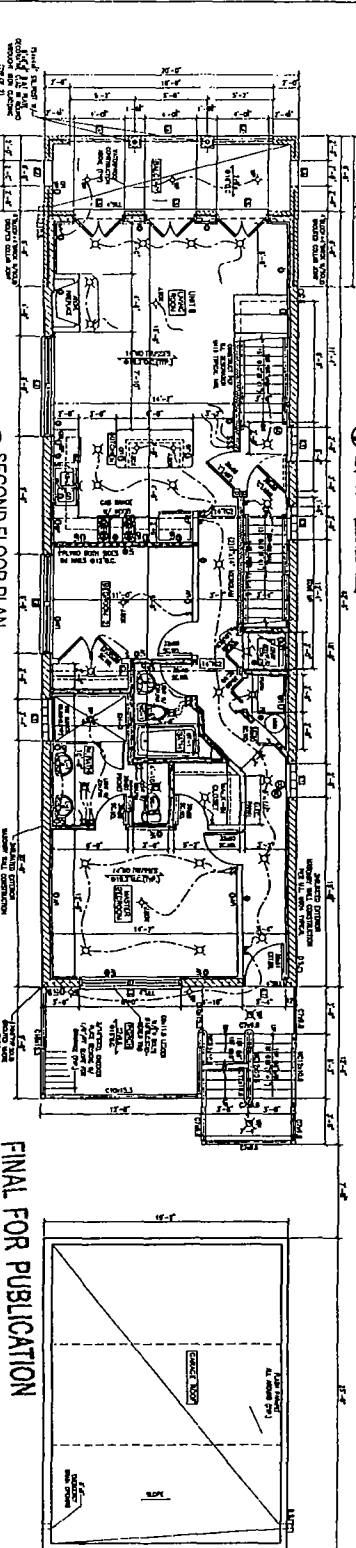
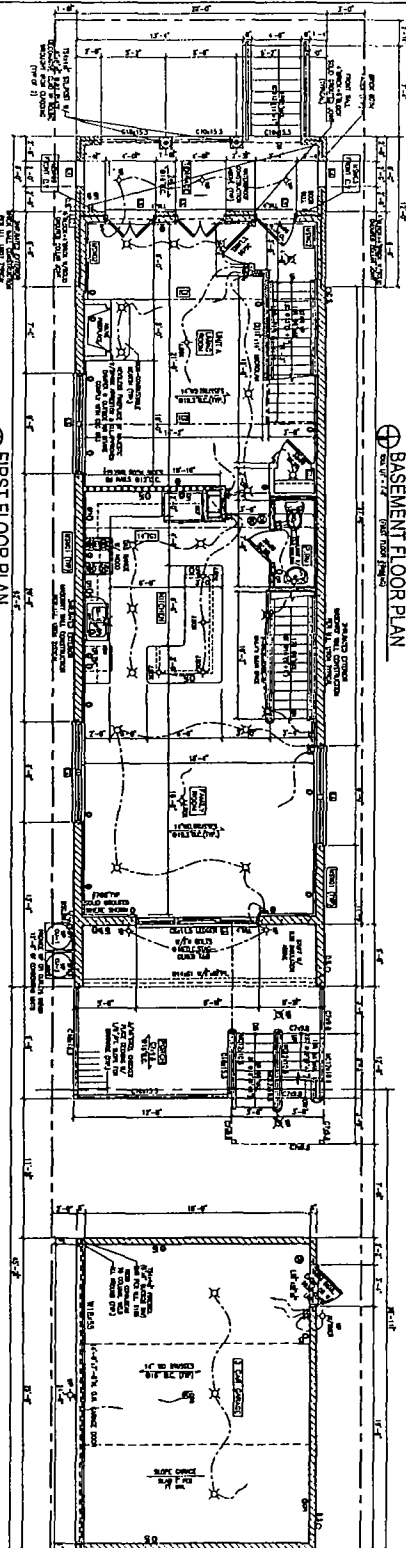
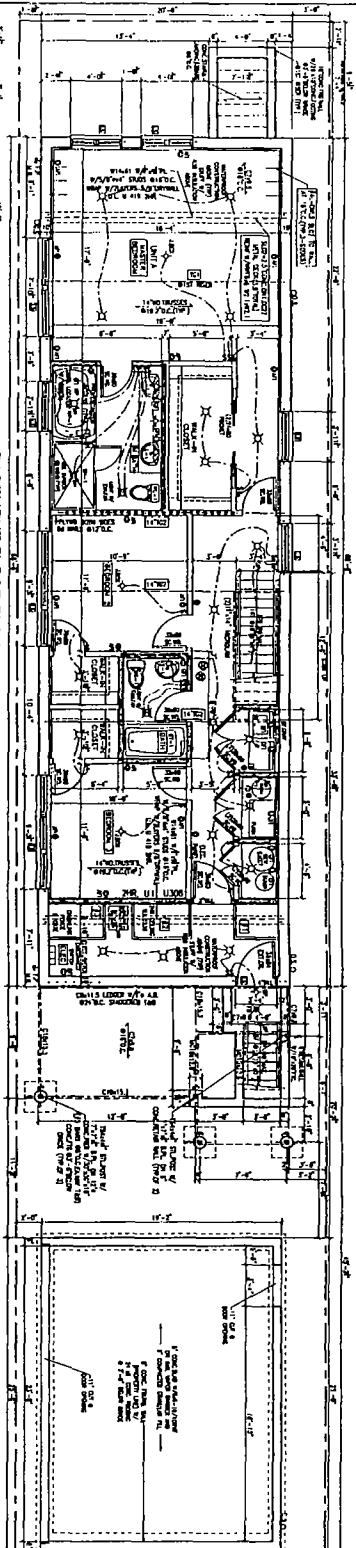
DICEMBERS 61. 0016



PROJECT NAME & ADDRESS
2744 NORTH
SOUTHPORT AVENUE
CHICAGO, ILLINOIS
3 UNIT APARTMENT

SHEET TITLE
SITE PLAN
AND NOTES

PULPNAME	
SHEET NUMBER	A-1



FINAL FOR PUBLICATION

© HANNA ARCHITECTS, INC. 2013

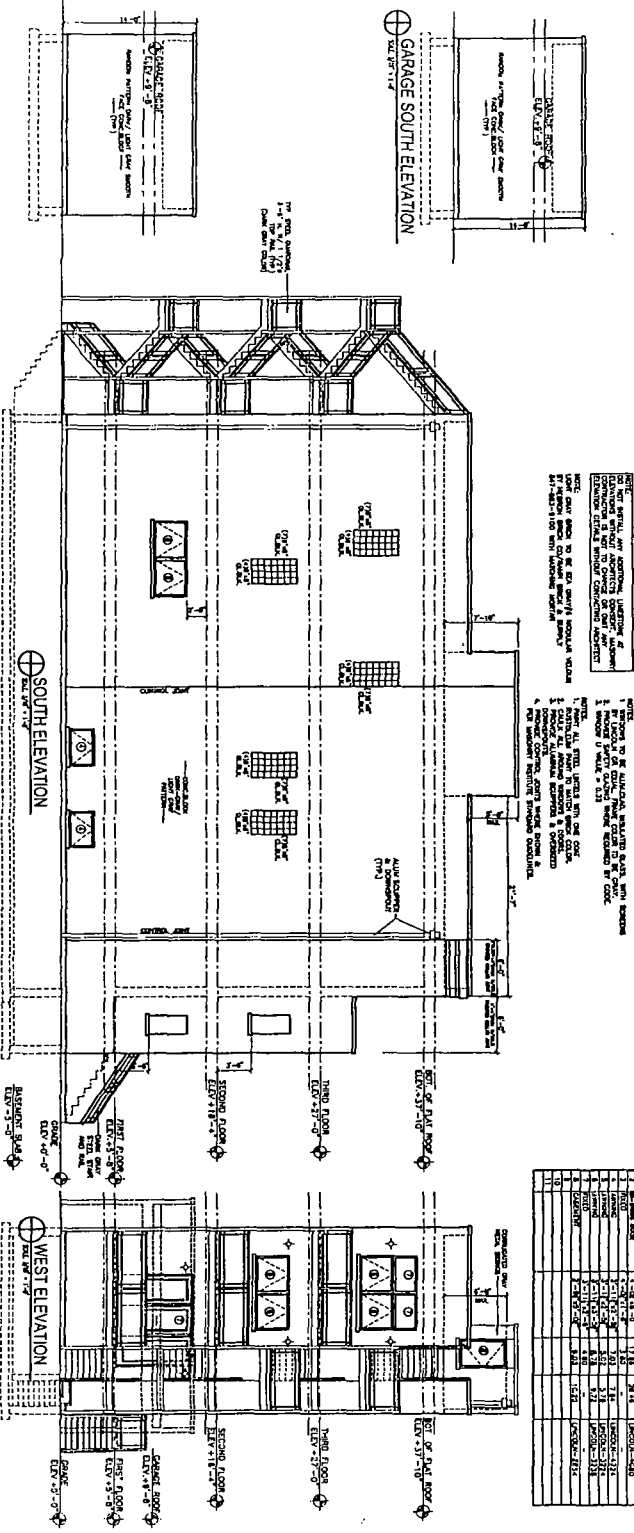
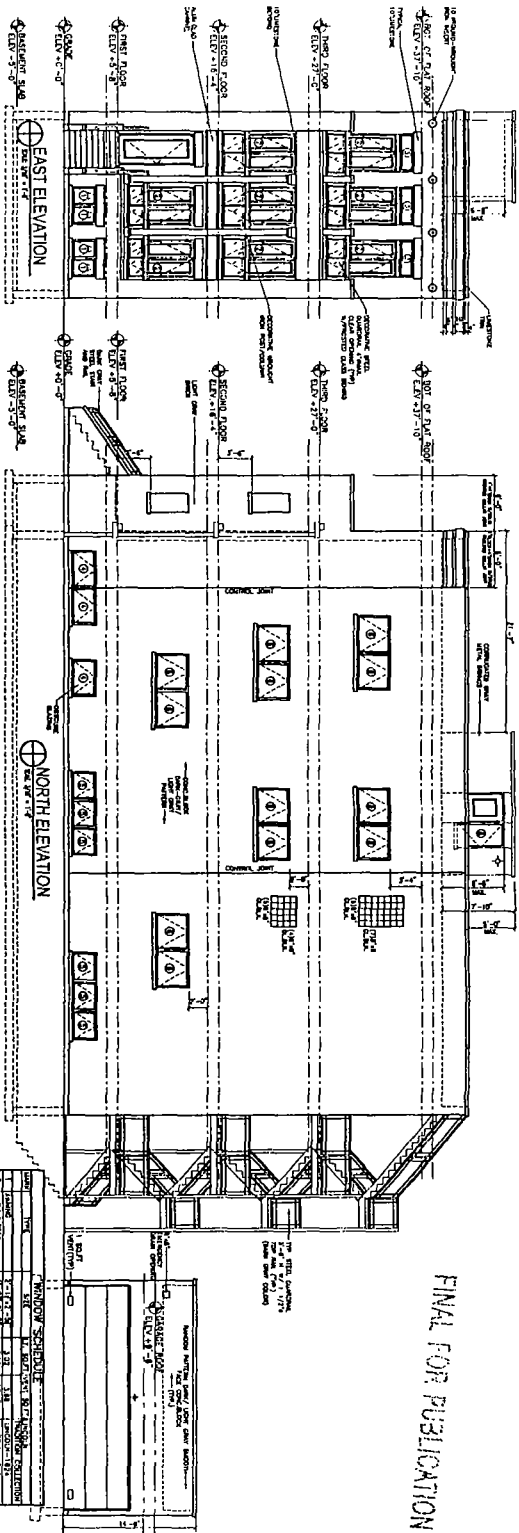
HANNA
 1113 7901 100
 100 W. WASHINGTON
 CHICAGO, ILLINOIS 60601
 PHONE: (312) 790-1000
 FAX: (312) 790-1001
 PROJECT: 100 W. WASHINGTON
 LICENSE: 000000000000000000

NOTES:
 1. ALL CONCRETE SHALL BE 4000 PSI.
 2. ALL REINFORCING SHALL BE #4.
 3. ALL WALLS SHALL BE 8" THICK.
 4. ALL FLOORS SHALL BE 4" THICK.
 5. ALL CEILING SHALL BE 8" THICK.
 6. ALL STAIRS SHALL BE 6" THICK.
 7. ALL DOORS SHALL BE 1 3/4" THICK.
 8. ALL WINDOWS SHALL BE 2" THICK.
 9. ALL PARTITIONS SHALL BE 5/8" THICK.
 10. ALL BASEMENTS SHALL BE 4" THICK.
 11. ALL ROOFS SHALL BE 4" THICK.
 12. ALL FOUNDATIONS SHALL BE 4" THICK.
 13. ALL EXTERIOR WALLS SHALL BE 8" THICK.
 14. ALL EXTERIOR FLOORS SHALL BE 4" THICK.
 15. ALL EXTERIOR CEILING SHALL BE 8" THICK.
 16. ALL EXTERIOR STAIRS SHALL BE 6" THICK.
 17. ALL EXTERIOR DOORS SHALL BE 1 3/4" THICK.
 18. ALL EXTERIOR WINDOWS SHALL BE 2" THICK.
 19. ALL EXTERIOR PARTITIONS SHALL BE 5/8" THICK.
 20. ALL EXTERIOR BASEMENTS SHALL BE 4" THICK.
 21. ALL EXTERIOR ROOFS SHALL BE 4" THICK.
 22. ALL EXTERIOR FOUNDATIONS SHALL BE 4" THICK.

PROJECT: 100 W. WASHINGTON
 2744 NORTH
 SOUTHPORT AVENUE
 CHICAGO, ILLINOIS
 3 UNIT APARTMENT
 SHEET TITLE:
 BASEMENT THRU
 SECOND FLOOR
 PLAN
 SHEET NUMBER:
 A-2



FINAL FOR PUBLICATION



PROPERTY SUMMARY

ITEM	QUANTITY	UNIT	PRICE	TOTAL
1. CONCRETE	100	CU YD	120.00	12000.00
2. REINFORCING	100	LB	0.50	50.00
3. FORMWORK	100	SQ YD	10.00	1000.00
4. BRICK	100	1000'S	1.00	100.00
5. PLASTER	100	SQ YD	5.00	500.00
6. PAINT	100	GALES	1.00	100.00
7. ROOFING	100	SQ YD	10.00	1000.00
8. GLASS	100	SQ YD	10.00	1000.00
9. METAL	100	LB	0.50	50.00
10. WOOD	100	CU YD	10.00	1000.00
11. INSULATION	100	SQ YD	10.00	1000.00
12. ELEC. WIRING	100	FT	1.00	100.00
13. PLUMBING	100	FT	1.00	100.00
14. MECHANICAL	100	FT	1.00	100.00
15. OTHER	100	FT	1.00	100.00
TOTAL				25000.00

PROJECT NAME & ADDRESS
2714 NORTH
SOUTHWORTH AVENUE
CHICAGO, ILLINOIS
3 UNIT APARTMENT

CLIENT TITLE
BUILDING
ELEVATIONS

KEY PLAN
A-5

DATE
10/1/11

BY
J. HANNA

FOR
J. HANNA

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/1/11
2	ISSUED FOR PERMIT	10/1/11

NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES.

2. ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS.

3. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO BUILDING CODE.

4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO PLUMBING CODE.

5. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO MECHANICAL CODE.

6. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO ELECTRICAL CODE.

J. HANNA

101 W. WASHINGTON
CHICAGO, ILLINOIS 60601
TEL (312) 756-1881
FAX (312) 756-1881
JHANNA@JHANNA.COM
WWW.JHANNA.COM