



City of Chicago



O2016-641

Office of the City Clerk Document Tracking Sheet

Meeting Date:	2/10/2016
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 3-H at 1468 N Ashland Ave - App No. 18650T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

#18650 T1
Intro. DATE
2-10-16

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the B3-2 Community Shopping District symbols and indications as shown on Map No.3-H in the area bounded by

West Le Moyne Street; North Ashland Avenue; a line 22 feet south of and parallel to West Le Moyne Street; and the alley next west of and parallel to North Ashland Avenue,

to those of a B3-3 Community Shopping District and a corresponding uses district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common addresses of property: 1468 North Ashland Avenue

17-13-0303-C (1) Narrative Zoning Analysis (Elective Type I)
1468 North Ashland Avenue, Chicago, Illinois

Proposed Zoning: B3-3 Community Shopping District

Lot Area: 1,826 square feet

Proposed Land Use: The Applicant is seeking a zoning change in order to permit the construction of a new four-story mixed-use building, at the subject site. The Applicant intends to raze the existing building. The new proposed building will contain one commercial/office unit, at grade level, with an attached three-car garage. There will be three dwelling units, above (2nd thru 4th Floors). The new proposed building will be masonry in construction and measure 46'-9½" in height.

- (a) The Project's Floor Area Ratio:
5,470 square feet (3.0 FAR)
- (b) The Project's Density (Lot Area Per Dwelling Unit):
3 dwelling units (608 square feet)
- (c) The amount of off-street parking:
3 parking spaces
- (d) Setbacks:
 - a. Front Setback: 0'-0"
 - * b. Rear Setback: 0'-0" (Grade Level - *commercial*)
19'4" (Floors 2 thru 4 - *residential*)
**The Applicant will be seeking a Variation
for a reduction to the required rear setback.*
 - c. Side Setbacks:
North: 0'-0"
South: 0'-0"
- (e) Building Height:
46'-9 ½"

FINAL FOR PUBLICATION

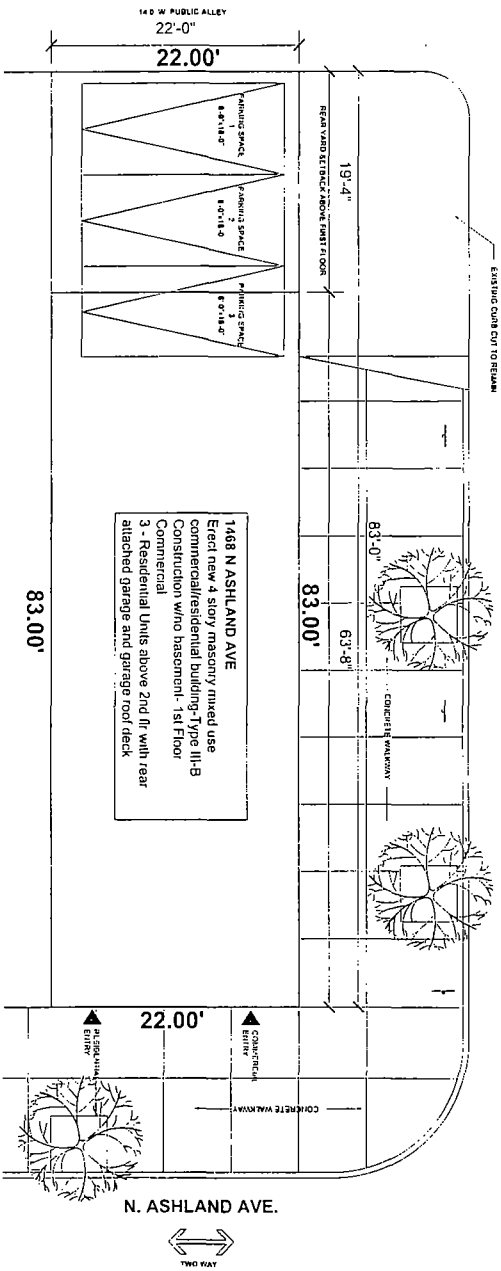
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Chicago

Illinois

1468 N. Ashland

LEMOYNE STREET



Site Plan

Scale 3/32" = 1'-0"



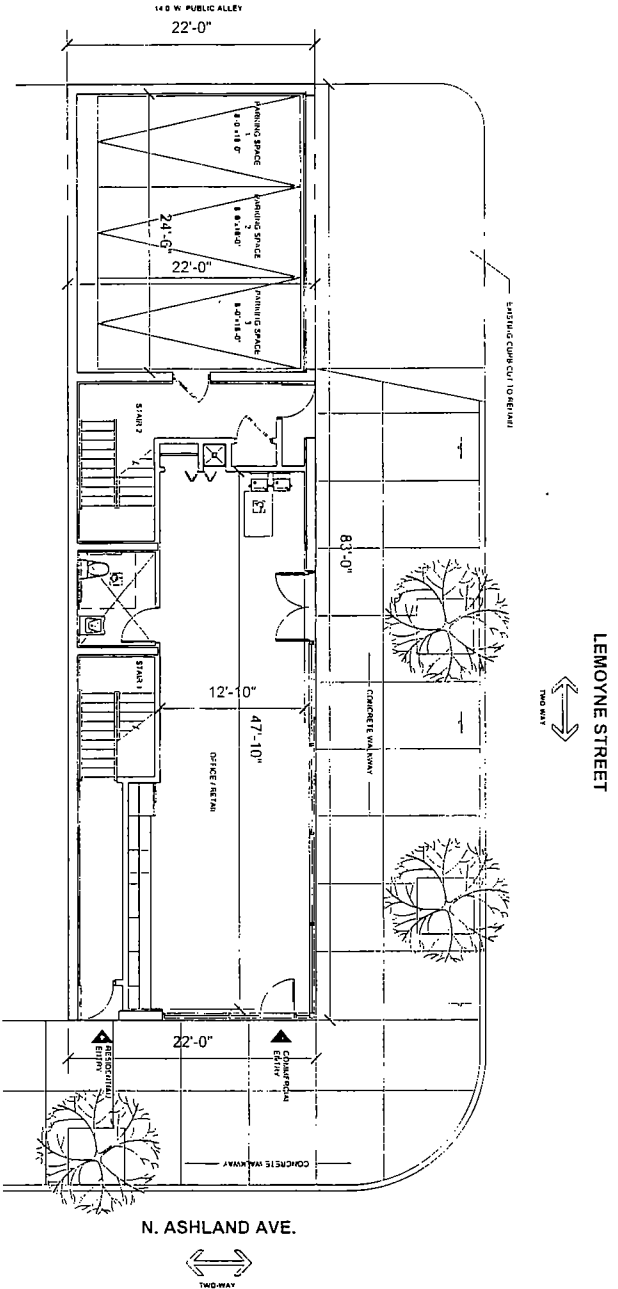
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2000-2001

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1468 N. Ashland

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First Floor Plan
Scale: 3/32" = 1'-0"

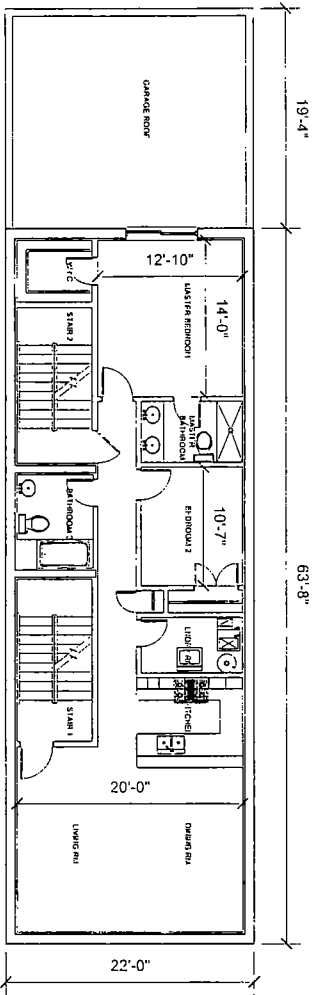
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Second Floor Plan

Scale: 3/32" = 1'-0"



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2000-01-01



SCALE
1" = 15'

R&R Surveyors, L.L.P.

CONSTRUCTION AND LAND SURVEYORS
P.O. BOX 412 WAUCONDA, IL 60094
TEL (773) 450-9321 FAX (773) 504-9321
ACCURATE@ATT.NET

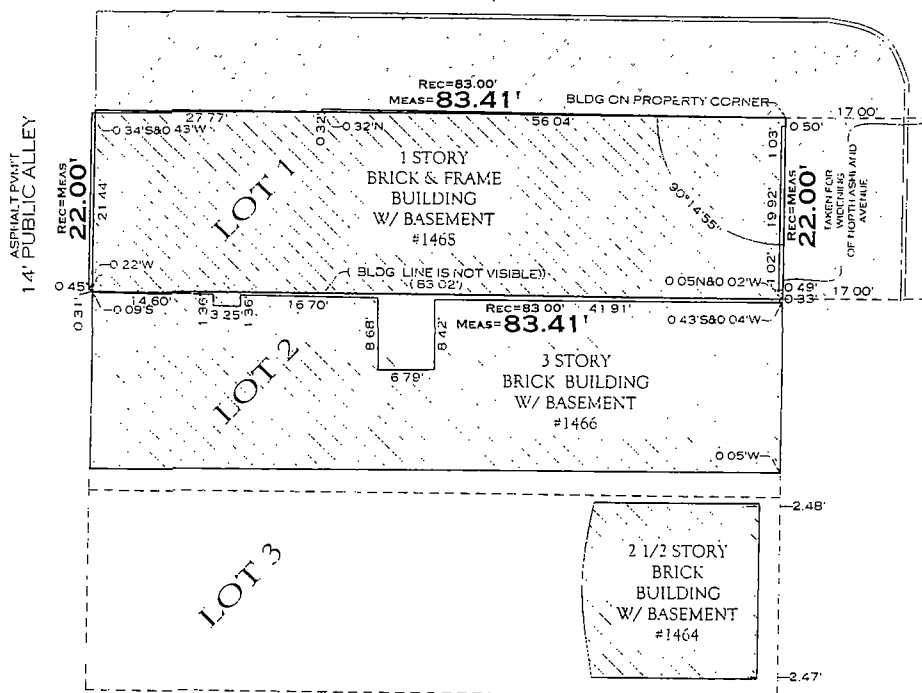
PLAT OF SURVEY

LOT 1 (EXCEPT THAT PART TAKEN FOR WIDENING OF NORTH ASHLAND AVENUE) IN BLOCK 5 IN
MCREYNOLD'S SUBDIVISION OF PART OF THE EAST 1 / 2 OF THE NORTHEAST 1 / 4 OF SECTION 6,
TOWNSHIP 39 NORTH, RANGE 14 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS

COMMONLY KNOWN AS 1468 NORTH ASHLAND AVENUE, CHICAGO, ILLINOIS

LEMOYNE STREET

ASHLAND AVENUE



NOTE

- DIMENSIONS ARE SHOWN IN FEET AND DECIMALS AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT
- THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREON DRAWN IS A COPY OF THE ORDER A FOR ACCURACY SHOULD BE COMPARED WITH THE TITLE OR DEED
- DIMENSIONS ARE NOT TO BE ASSUMED FOR SCALING
- COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCES
- REFER TO DEED, TITLE POLICY AND LOCAL ORDINANCES FOR BUILDING RESTRICTIONS
- COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCES

ORDER# 14-4861

DATE 6/17/2014

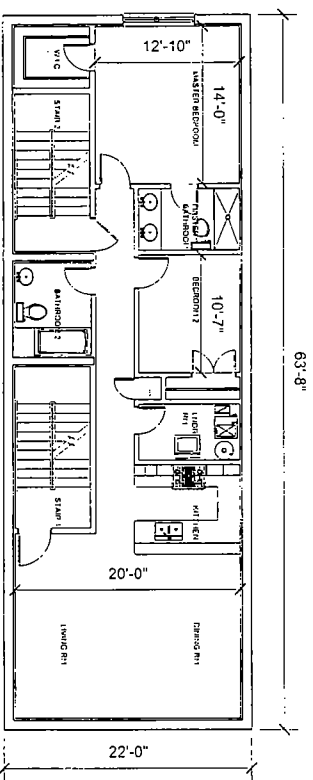
ORDERED BY ALEKSANDRA DJBOVIK

STATE OF ILLINOIS)
COUNTY OF MCHEMRY)
I, ROY G. LAWNICZAK, DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY SUPERVISION IN THE MANNER REPRESENTED ON THE PLAT HEREON DRAWN. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
CARY, ILLINOIS NOVEMBER 15/2015
BY [Signature] ROY G. LAWNICZAK, ILL. REG. LAND SURVEYOR NO. 2220

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Illinois



Third Floor Plan

Scale 3/32" = 1'-0"



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2000

Illinois

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Fourth Floor Plan

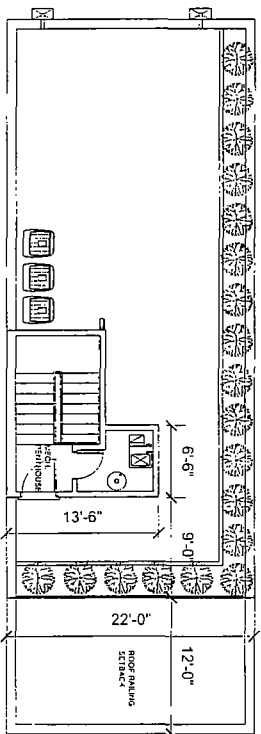
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1967-1968

Chicago

1468 N. Ashland

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Roof Plan

Scale: 3/32" = 1'-0"



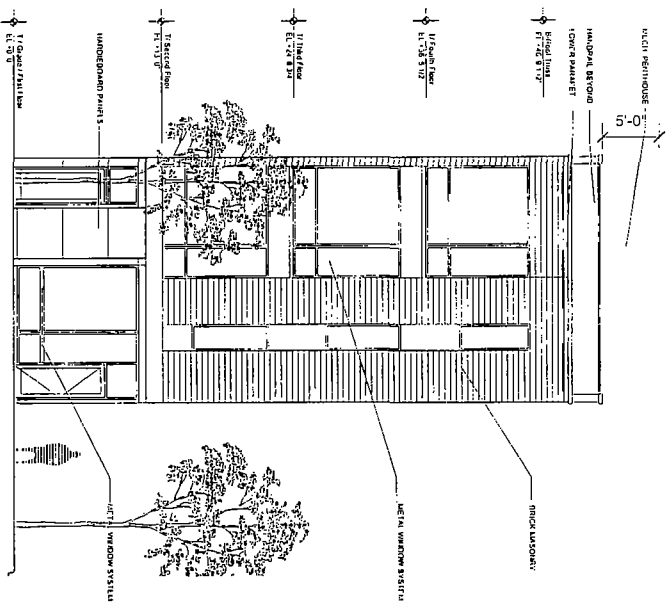
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East Elevation

Scale: 3/32" = 1'-0"

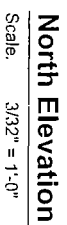
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Illinois

1468 N. Ashland



Scale. $3/32" = 1'-0"$

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CHANDLER, W. C.

Illinois

1468 N. Ashland



Scale: 3/32" = 1'-0"

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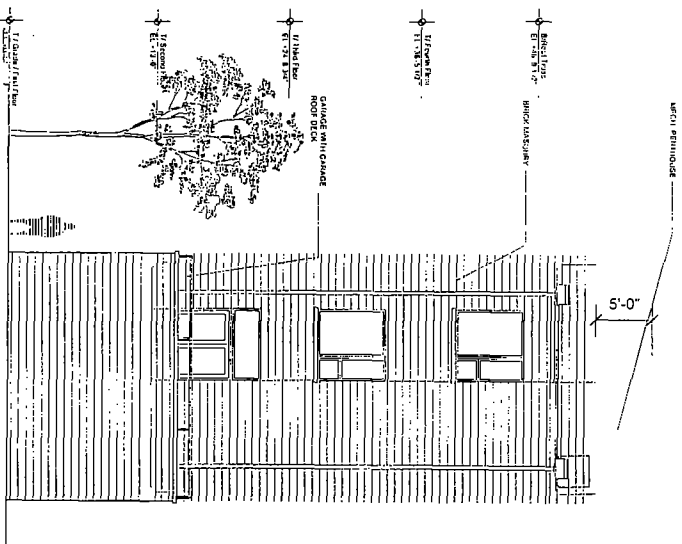
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West Elevation

Scale: 3/32" = 1'-0"

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