



# City of Chicago



O2016-2604

Office of the City Clerk

## Document Tracking Sheet

<b>Meeting Date:</b>	4/13/2016
<b>Sponsor(s):</b>	Misc. Transmittal
<b>Type:</b>	Ordinance
<b>Title:</b>	Zoning Reclassification Map No. 5-H at 1630-1632 N Damen Ave - App No. 18728T1
<b>Committee(s) Assignment:</b>	Committee on Zoning, Landmarks and Building Standards

#18728 T1

INTRO. DATE:  
APR. 13, 2016

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the M1-2 limited Manufacturing/Business Park District symbols and indications as shown on Map No 5-H in the area bounded by:

The 16.0 foot public alley next west of North Damen Avenue; West Concord Place; North Damen Avenue; and a line 48.0 feet south of and parallel to West Concord Place

SECTION 2. To those of a B3-2 Neighborhood Mixed-Use District, and a corresponding use district is hereby established in the area herein above described;

SECTION 3. This ordinance takes effect after its passage and due publication.

Common Address of the Property: 1630-1632 North Damen Avenue, Chicago, Illinois

## NARRATIVE

### 1630-1632 N. Damen Avenue

The subject property is an existing 3-story building consisting of approximately 8,470 square feet, which is currently zoned M1-2 (Limited Manufacturing/Business Park District). The applicant is seeking a zoning amendment in order to allow for the existing retail and residential dwelling uses at the property, and to conform with the surrounding B3-2 (Community Shopping District) zoning district. The applicant does not propose any alterations to the existing 3-story building, which has 3,010 square feet of retail space located on the ground floor and a total of four existing residential dwelling units located on the second (2 dwelling units) and third (2 dwelling units) floors. The subject property is one the few remaining properties located in the surrounding area zoned M1-2 (Limited Manufacturing/Business Park District). The property is located approximately 600 feet from the CTA Transit Station located on Damen Avenue. The rezoning of the property will allow for retail uses and the residential dwelling units to remain.

#### Existing Setbacks:

Front – 0.0 feet

Rear – 0.0 feet

North 0.0 feet

South 0.0 feet

Lot Area: 3,840 square feet

Minimum Lot Area: 960 square feet/dwelling unit

F.A.R.: 2.2

Existing Floor Area.: 8,470 square feet

Existing Building Height: 28 feet 2 inches

TOD Credit: The property is located approximately 600 feet from a CTA Transit Station located on Damen Avenue.

Existing Parking: Zero

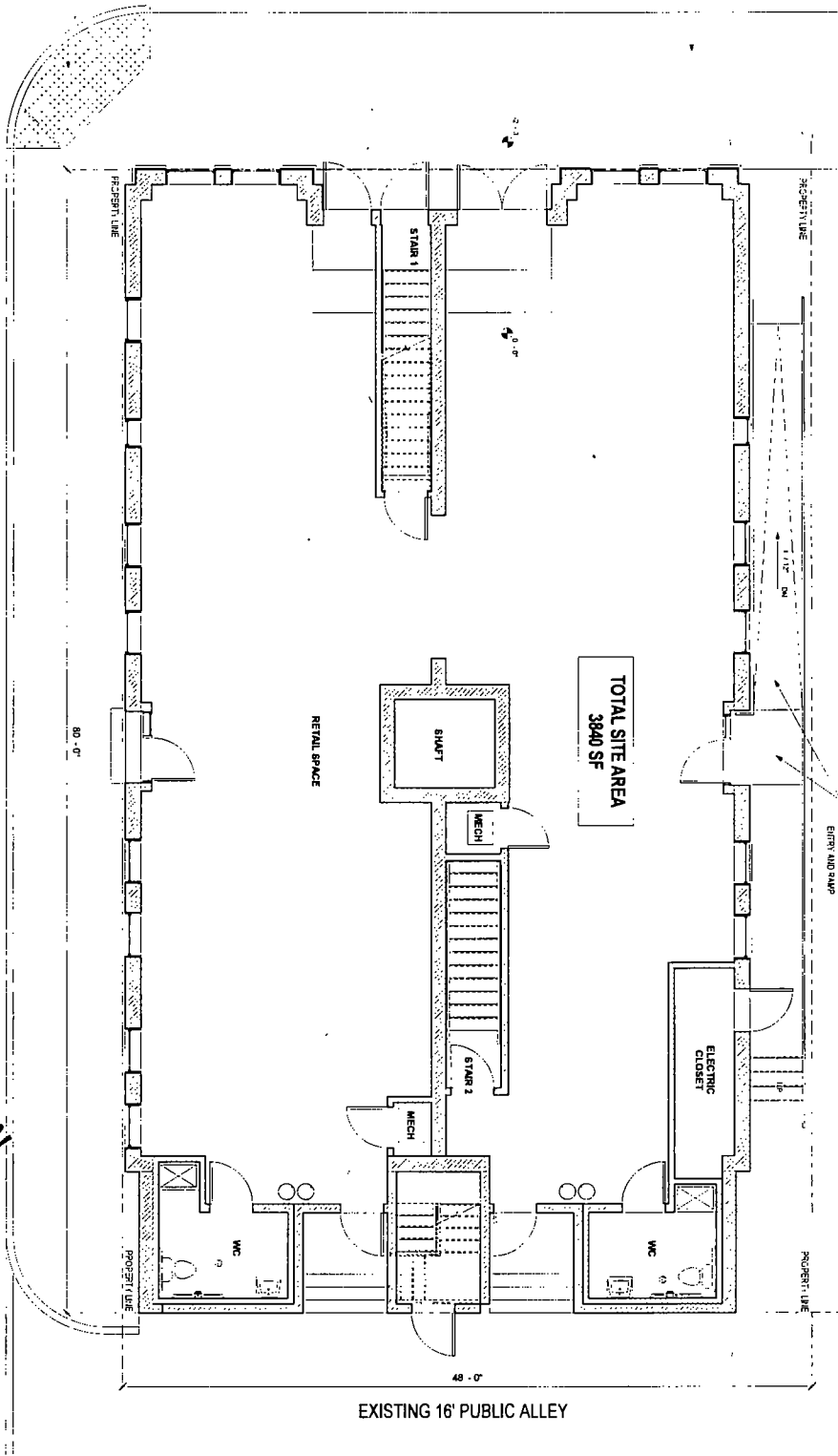
Existing Bicycle Parking: Zero

**FINAL FOR PUBLICATION**

NORTH DAMEN AVENUE

EXISTING STAIRS, ELEVATOR,  
WALKWAY, GUARD RAILING

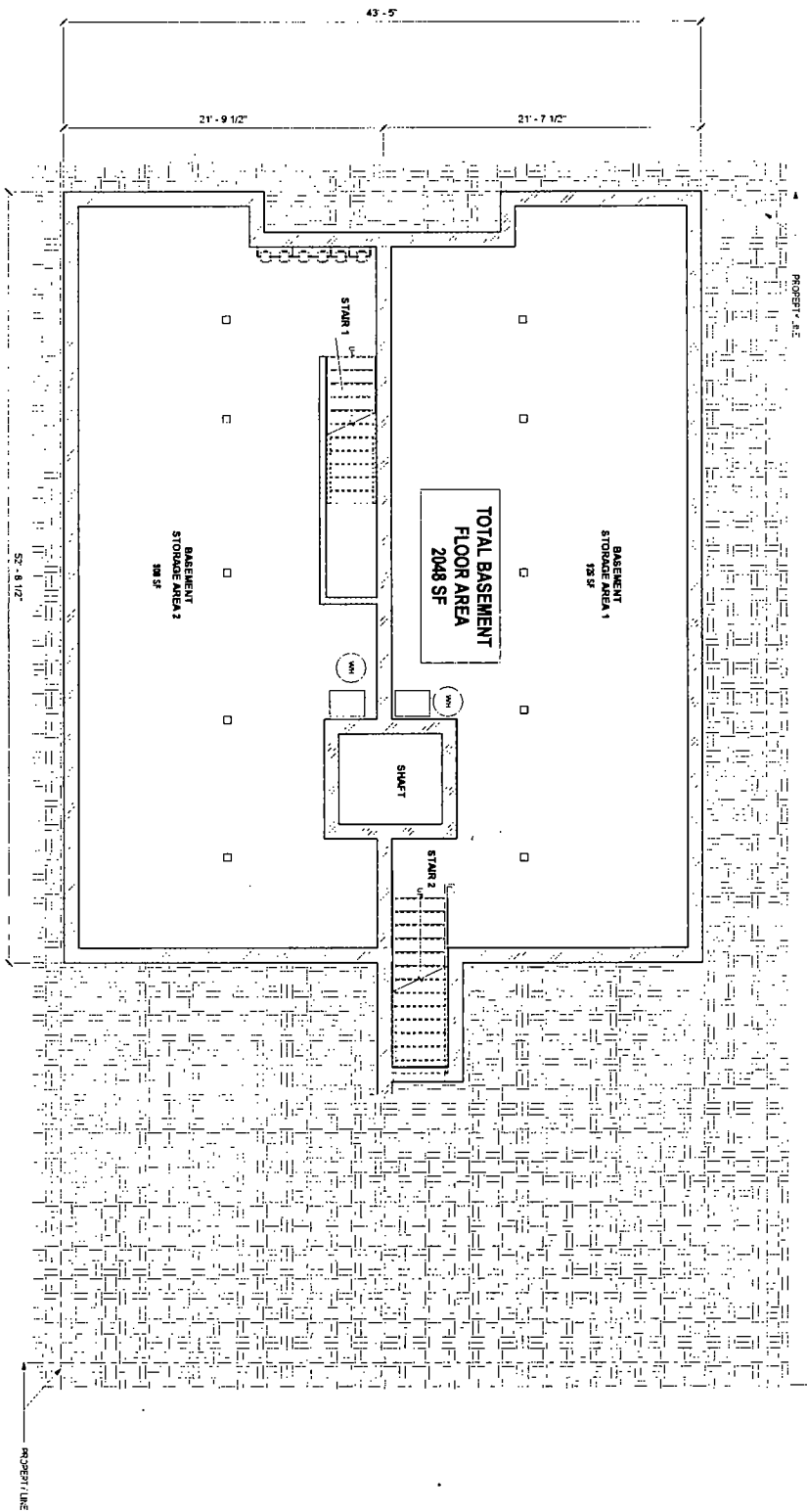
EXISTING ACCESSIBLE  
RAMPED CURB CUT



TOTAL SITE AREA  
3840 SF

FINAL FOR PUBLICATION

1 EXISTING SITE PLAN  
1/4" = 1'-0"

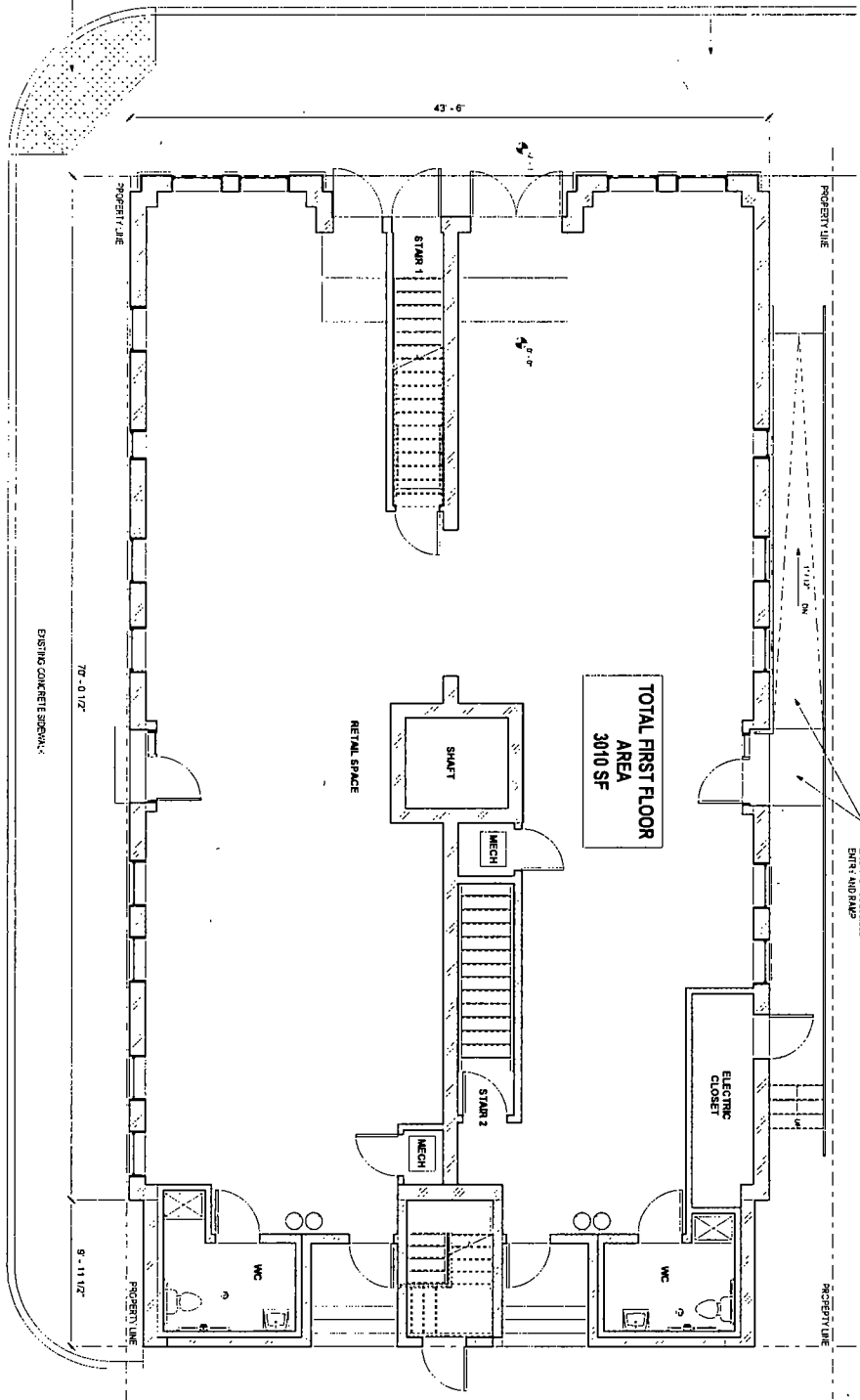


FINAL FOR PUBLICATION



EXISTING CONC. ELEVATOR  
WITH CONC. CORE COLUMNS

EXISTING ACCESSIBLE  
ENTRANCE AND RAMP



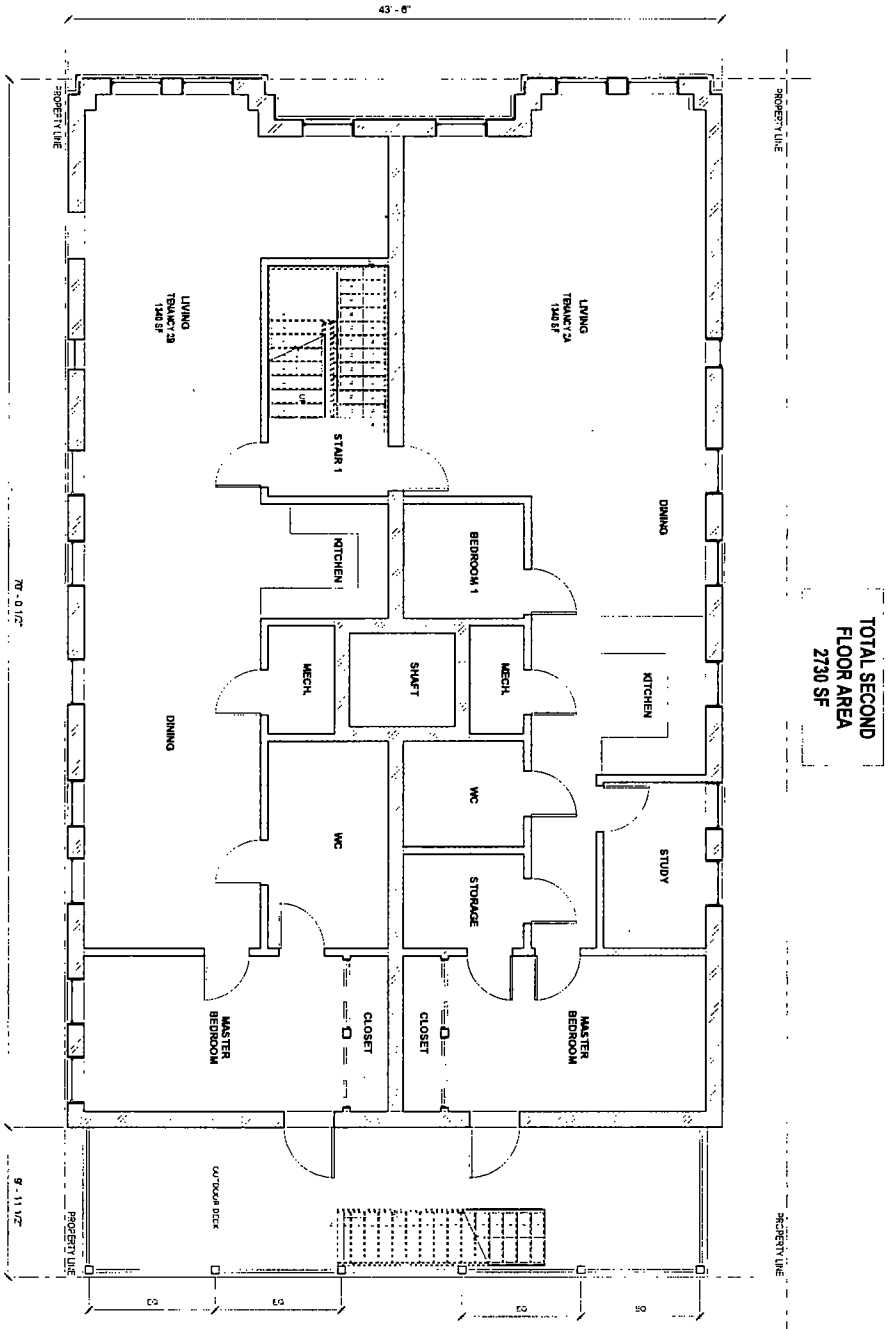
EXISTING SERVICE ALLEY

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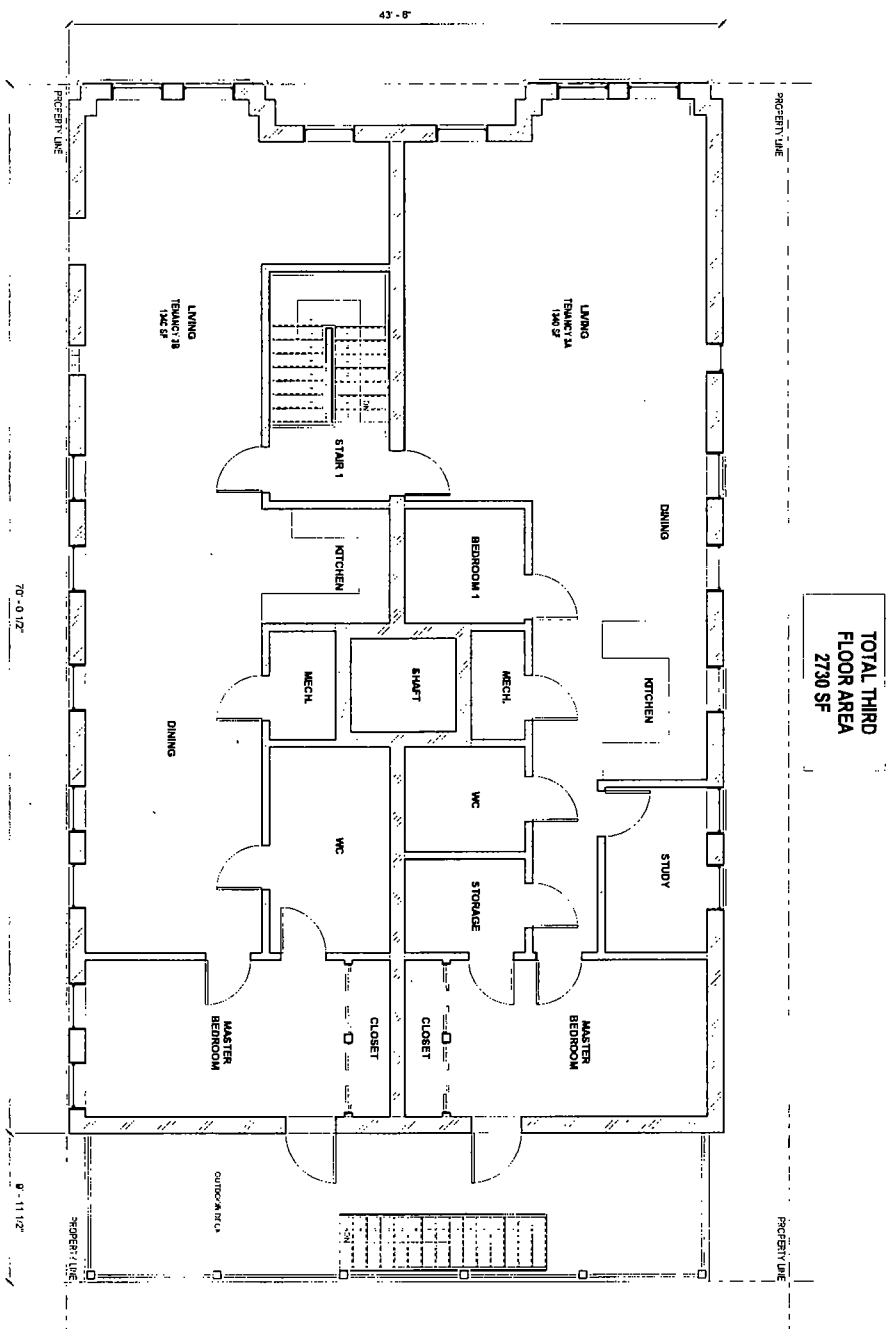


FINAL FOR PUBLICATION

1 EXISTING SECOND FLOOR PLAN  
AS IS 1/4" = 1'-0"

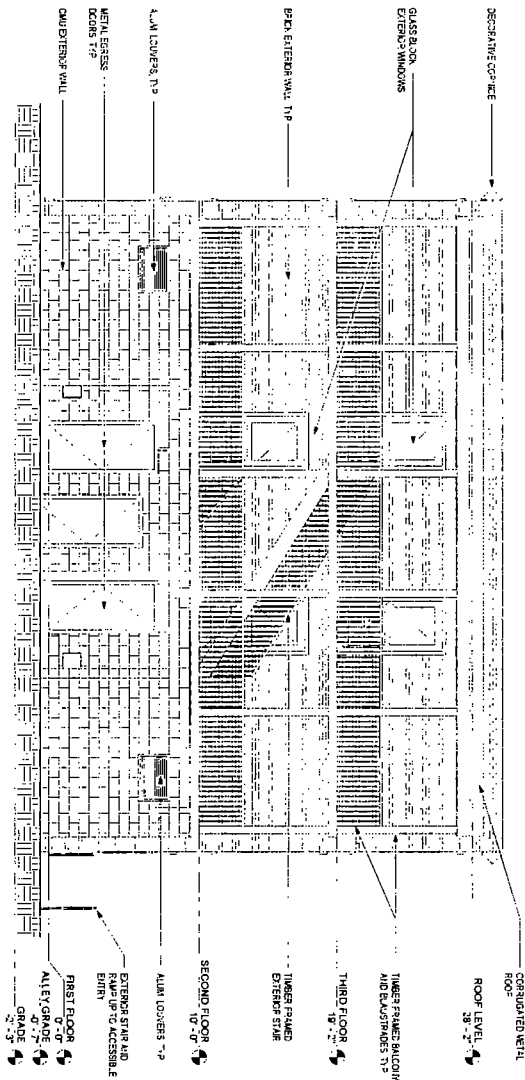


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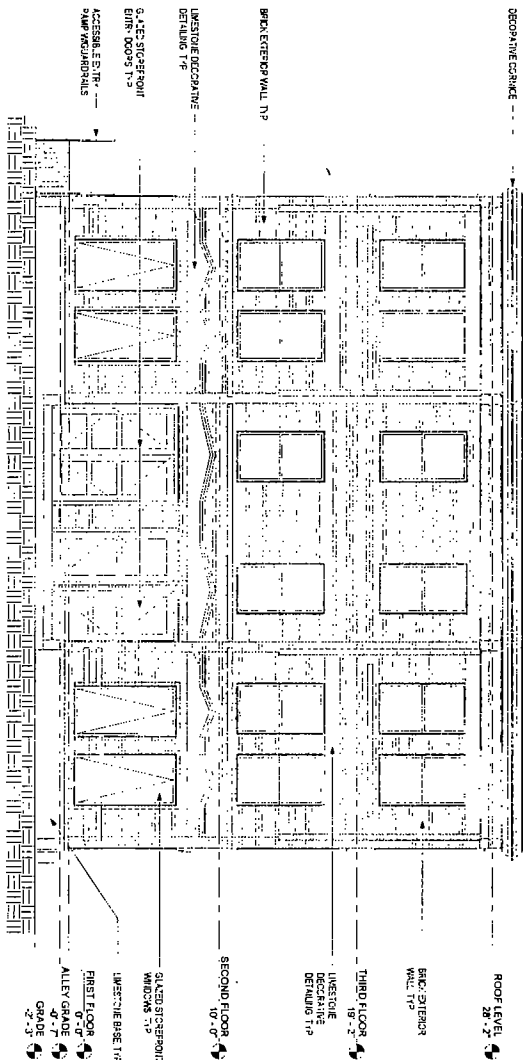




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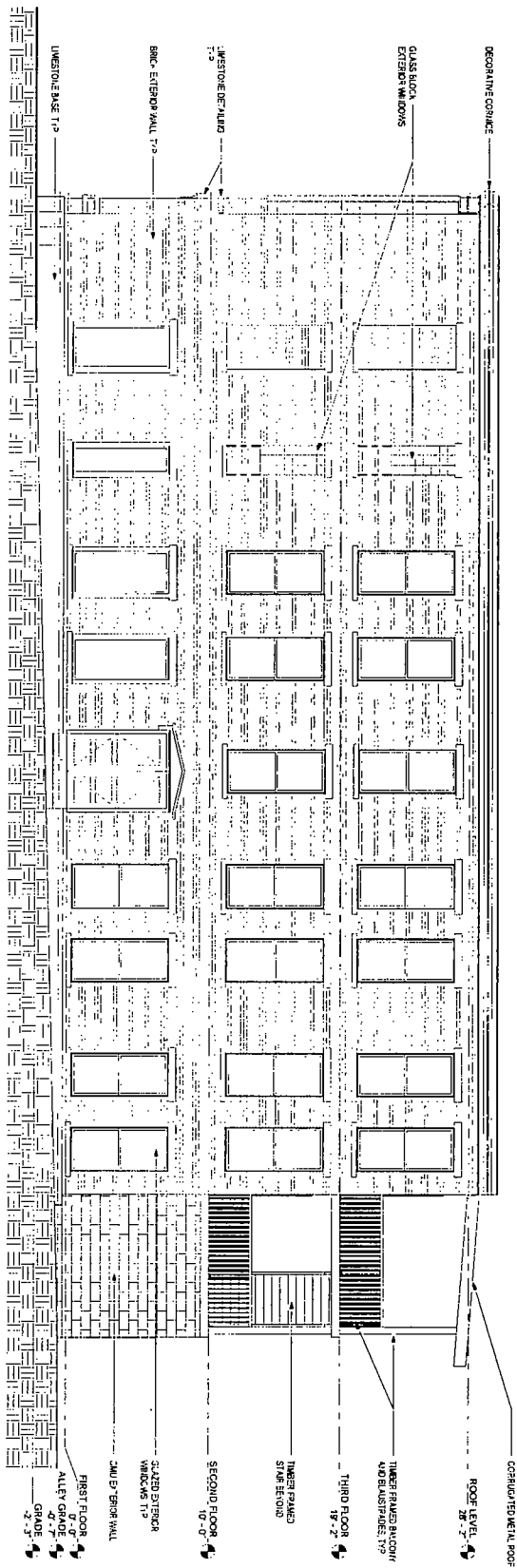
2 EXISTING EAST ELEVATION  
25'0" 1'6" = 1'-0"



1. EXISTING WEST ELEVATION  
1/4" = 1'-0"

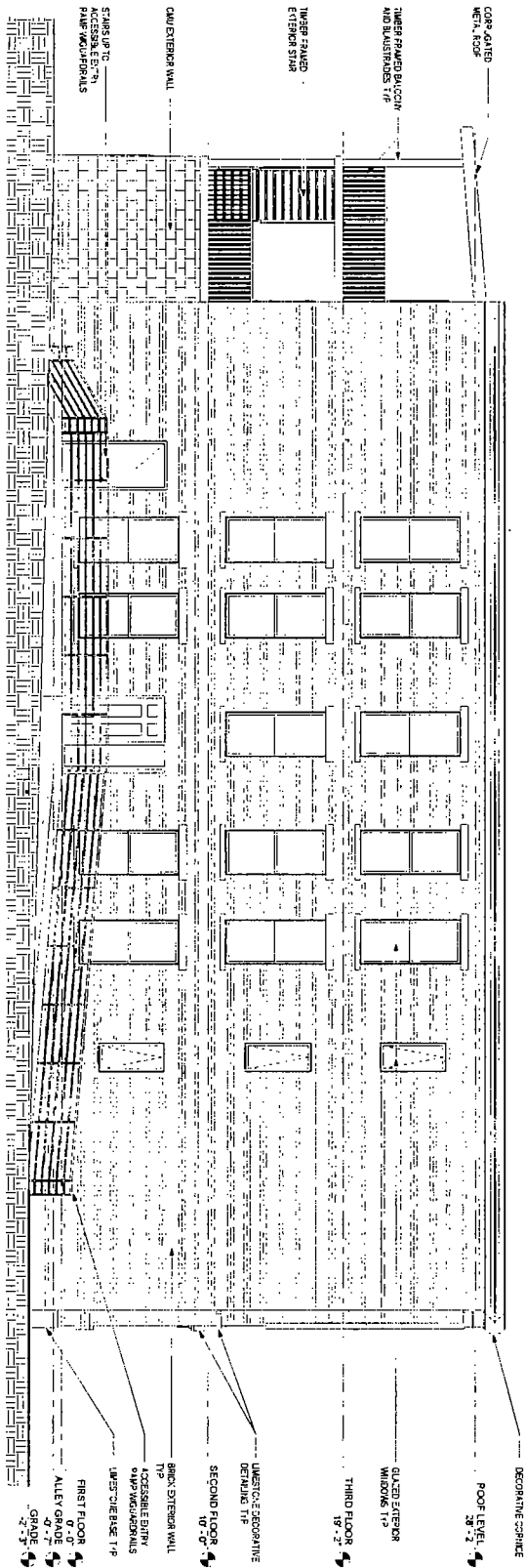
FINAL FOR PUBLICATION

EXISTING SOUTH ELEVATION



1 EXISTING SOUTH ELEVATION  
NAD 1983 11'0"

FINAL FOR PUBLICATION



1. EXISTING NORTH ELEVATION  
1/4" = 1'-0"