



# City of Chicago



O2016-658

Office of the City Clerk

## Document Tracking Sheet

<b>Meeting Date:</b>	2/10/2016
<b>Sponsor(s):</b>	Misc. Transmittal
<b>Type:</b>	Ordinance
<b>Title:</b>	Zoning Reclassification Map No. 5-I at 2074 N Milwaukee Ave - App No. 18667T1
<b>Committee(s) Assignment:</b>	Committee on Zoning, Landmarks and Building Standards

#18667 TI  
INTRO DATE:  
2-10-16

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B3-1 Community Shopping District symbols and indications as shown on Map No. 5-I in the area bounded by

North Milwaukee Avenue; a line 734.50 feet northwest of West Armitage Avenue; The public alley southwest of and parallel to North Milwaukee Avenue; a line 758.50 northwest of West Armitage Avenue;

to those of a B3-3 Community Shopping District

SECTION 2. This ordinance takes effect after its passage and approval.

Common Address of Property: 2074 North Milwaukee Avenue

100  
44  
194M

# PROJECT NARRATIVE

## TYPE 1 ZONING AMENDMENT

### 2074 NORTH MILWAUKEE AVENUE

#### B3-3 Community Shopping District

The applicant is requesting a zoning amendment from a B3-1 Community Shopping District to a B3-3 Community Shopping District for the proposed 3 story mixed use building with retail on the ground floor and dwelling units on floors 2 and 3 for a total of 4 dwelling units with 2 parking spaces.

\*The parking reduction is due to the Transit Oriented District Section 17-10-0102-B (1) of the Chicago Zoning Ordinance

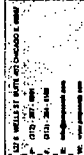
Lot Area	2,522.40 sf
Parking	2 Spaces (TOD)
Front Setback	0 feet
Rear Yard	25' 1 ½"
East Setback	0 feet
West Setback	0 feet
FAR	2.3
MLA	630
Building Square Footage	5,760
Building Height	31'3"

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PMPC ARCHITECTS



REVISIONS	
NO.	DATE
1	01/01/2018

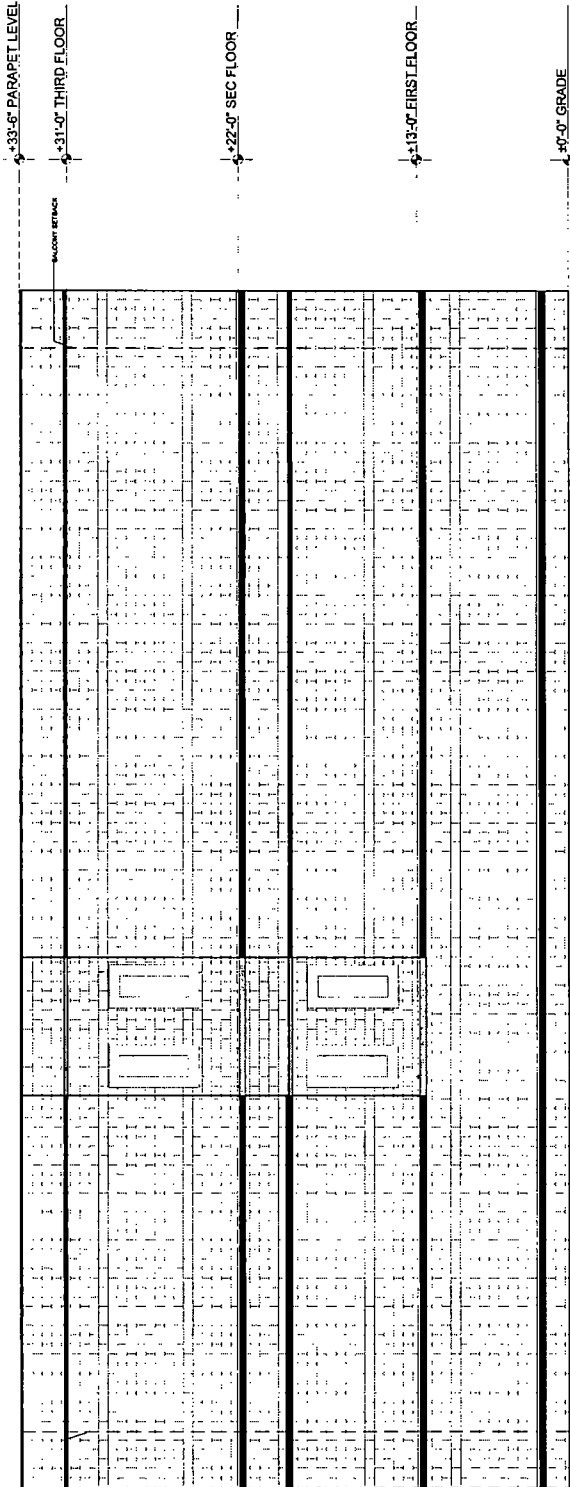
DESCRIPTION	
1	ISSUED FOR PERMIT

2074 N. MILWAUKEE

PERMIT #

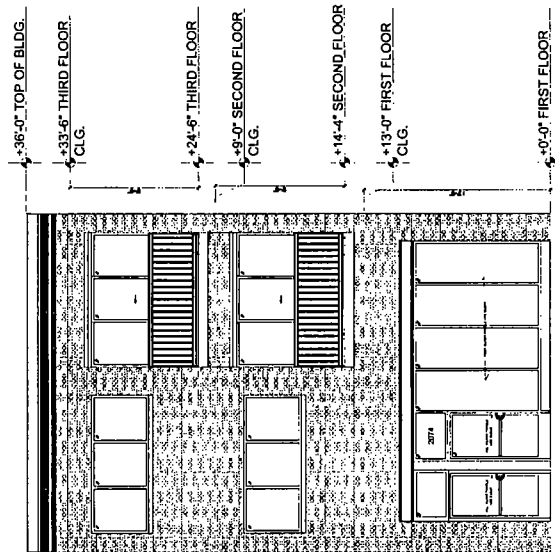
ELEVATIONS

A500



WEST ELEVATION

SCALE 1/4" = 1'-0"



NORTH ELEVATION

SCALE 1/4" = 1'-0"

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PMPC ARCHITECTS

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CHICAGO IL 60607  
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F. (312) 284-9100  
E. info@spacelock.com  
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PERMIT #

REVISIONS: DATE DESCRIPTION

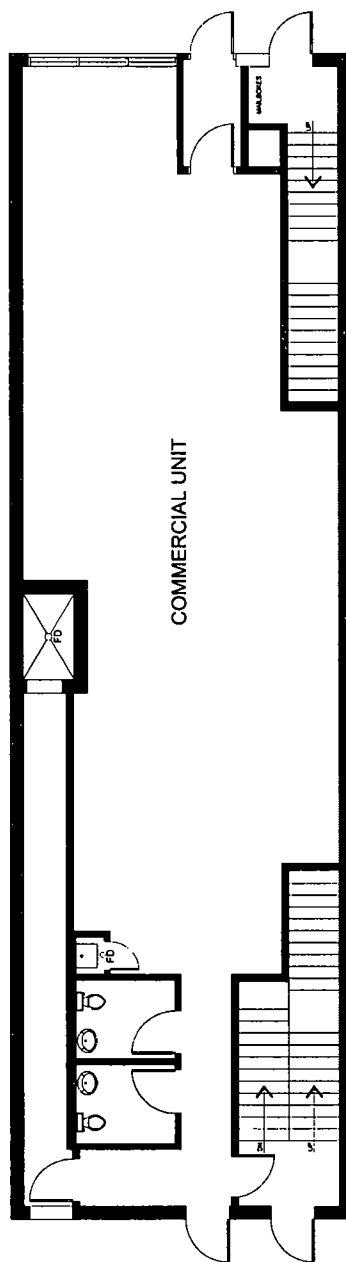
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**OBJECT AND PURPOSE**

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CHICAGO IL .....

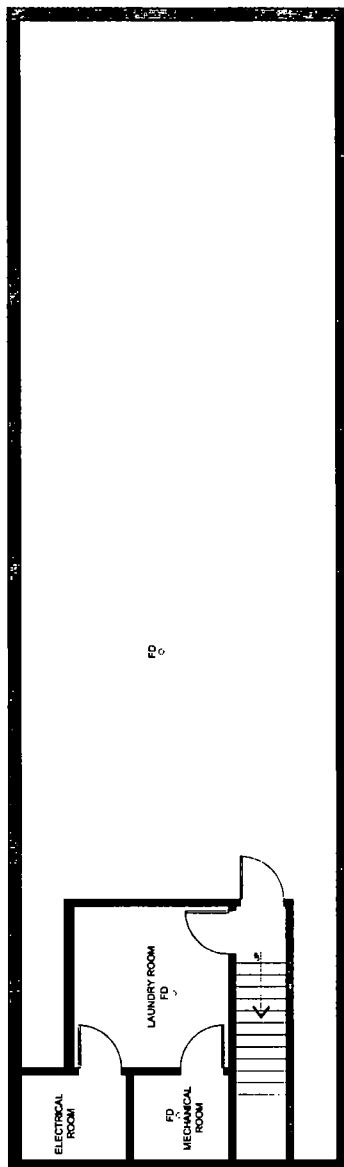
## PROPOSED PLANS

A100



**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**BASEMENT PLAN**

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PMPC ARCHITECTS

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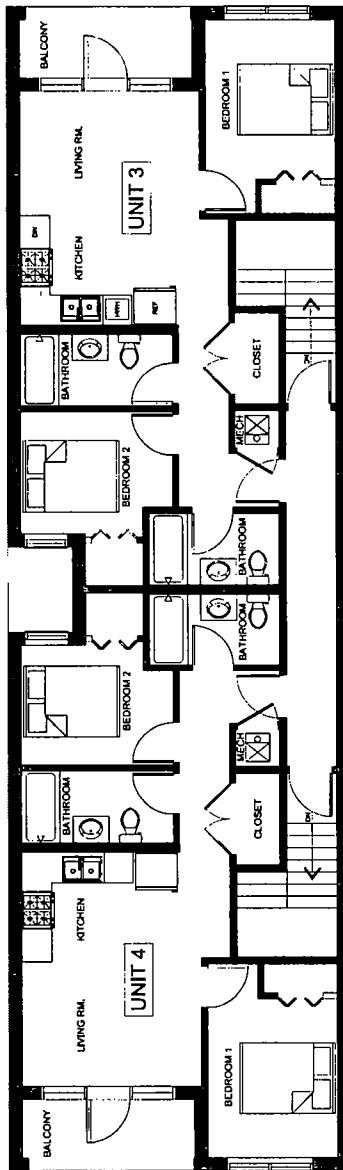
PERMIT # \_\_\_\_\_

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ADDRESS.....  
CHICAGO IL.....

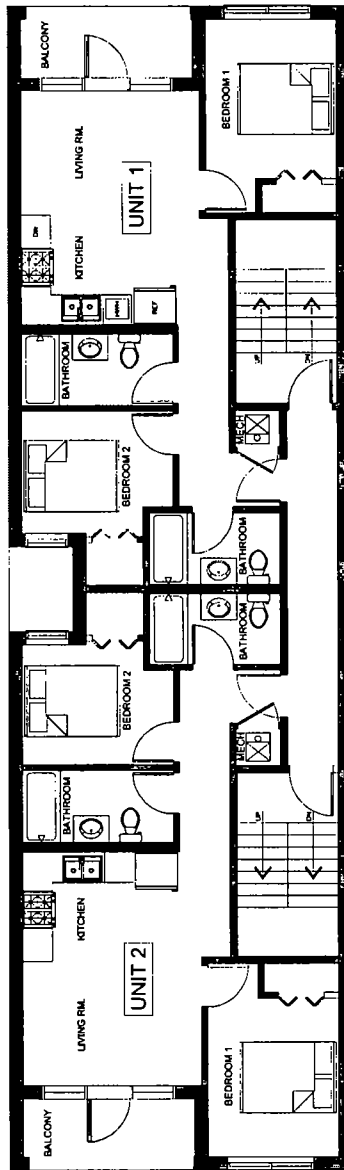
## PROPOSED PLANS

A101



### THIRD FLOOR PLAN

SCALE 1/4" = 1'-0"



## SECOND FLOOR PLAN

SCALE 1/4" = 1' 0"

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