



City of Chicago



O2016-658

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	2/10/2016
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 5-I at 2074 N Milwaukee Ave - App No. 18667T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

#18667T1

INTRO DATE:

2-10-16

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B3-1 Community Shopping District symbols and indications as shown on Map No. 5-I in the area bounded by

North Milwaukee Avenue; a line 734.50 feet northwest of West Armitage Avenue; The public alley southwest of and parallel to North Milwaukee Avenue; a line 758.50 northwest of West Armitage Avenue;

to those of a B3-3 Community Shopping District

SECTION 2. This ordinance takes effect after its passage and approval.

Common Address of Property: 2074 North Milwaukee Avenue

19AM

PROJECT NARRATIVE
TYPE 1 ZONING AMENDMENT
2074 NORTH MILWAUKEE AVENUE

B3-3 Community Shopping District

The applicant is requesting a zoning amendment from a B3-1 Community Shopping District to a B3-3 Community Shopping District for the proposed 3 story mixed use building with retail on the ground floor and dwelling units on floors 2 and 3 for a total of 4 dwelling units with 2 parking spaces.

*The parking reduction is due to the Transit Oriented District Section 17-10-0102-B (1) of the Chicago Zoning Ordinance

Lot Area	2,522.40 sf
Parking	2 Spaces (TOD)
Front Setback	0 feet
Rear Yard	25' 1 ½"
East Setback	0 feet
West Setback	0 feet
FAR	2.3
MLA	630
Building Square Footage	5,760
Building Height	31'3"

FINAL FOR PUBLICATION

2074 N. MILWAUKEE CHICAGO, IL 60647



PMPC ARCHITECTS

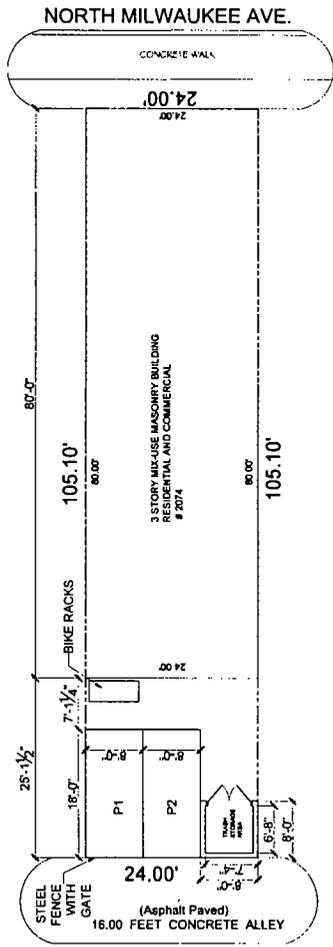
NO.	DATE	DESCRIPTION
1	01/24/2018	ISSUE FOR PERMIT
2	02/15/2018	ISSUE FOR PERMIT
3	03/01/2018	ISSUE FOR PERMIT
4	03/15/2018	ISSUE FOR PERMIT
5	04/01/2018	ISSUE FOR PERMIT
6	04/15/2018	ISSUE FOR PERMIT
7	05/01/2018	ISSUE FOR PERMIT
8	05/15/2018	ISSUE FOR PERMIT
9	06/01/2018	ISSUE FOR PERMIT
10	06/15/2018	ISSUE FOR PERMIT

2074 N. MILWAUKEE
CHICAGO, IL 60647

PERMIT #

TITLE PAGE

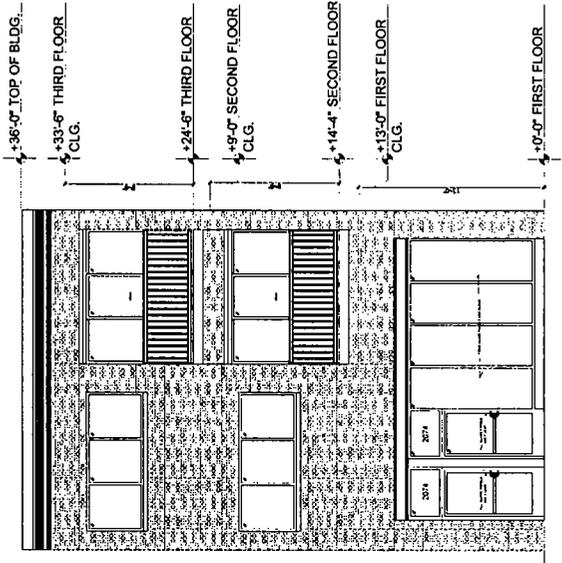
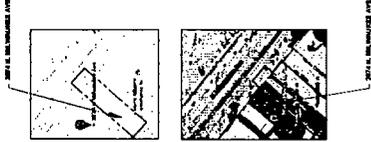
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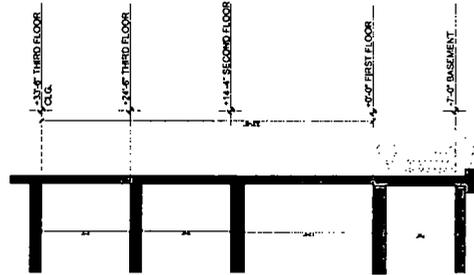
SITE PLAN
SCALE 1/8" = 1'-0"

FLOOR	AREA
3RD FLOOR	120
2ND FLOOR	120
1ST FLOOR	120
FRONT PORCH	25
REAR PORCH	36
TOTAL	4130

LOCATION MAP



NORTH ELEVATION
SCALE 1/4" = 1'-0"



SCHEMATIC SECTION
NOT TO SCALE

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