



City of Chicago



O2016-1616

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	3/16/2016
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 3-F at 863 N Orleans St - App No. 18691T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

#1869/T1
INTRO DATE
03/16/16

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the C1-2 Neighborhood Commercial District symbols and indications as shown on Map No.3-F in the area bounded by

a line 143.39 feet north of and parallel to West Chestnut Street; the alley next east of and parallel to North Orleans Street; West Chestnut Street; and North Orleans Street,

to those of a C1-5 Neighborhood Commercial District and a corresponding uses district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common address of property: 863 North Orleans Street

17-13-0303-C (1) Narrative Zoning Analysis
863 North Orleans Street, Chicago, Illinois

Proposed Zoning: C1-5 Neighborhood Commercial District

Lot Area: 14,378.29 square feet

Proposed Land Use: The Applicants are seeking a zoning change in order to permit the construction of a new six story office/retail building, at the subject site. The new proposed building will contain approximately 3,700 square feet of retail space at grade level, with approximately 11,700 square feet of office space, located on each of Floors 2 thru 6. Due to its immediate proximity to the Chicago (Brown Line) CTA Station, and pursuant to the Transit Oriented Development Ordinance, *as amended*, the new proposed building will contain a total of thirty-two (32) interior parking spaces, between the lower level (basement) and grade level. The new proposed building will be glass, masonry and steel, in construction, and will measure 76'-0" in height.

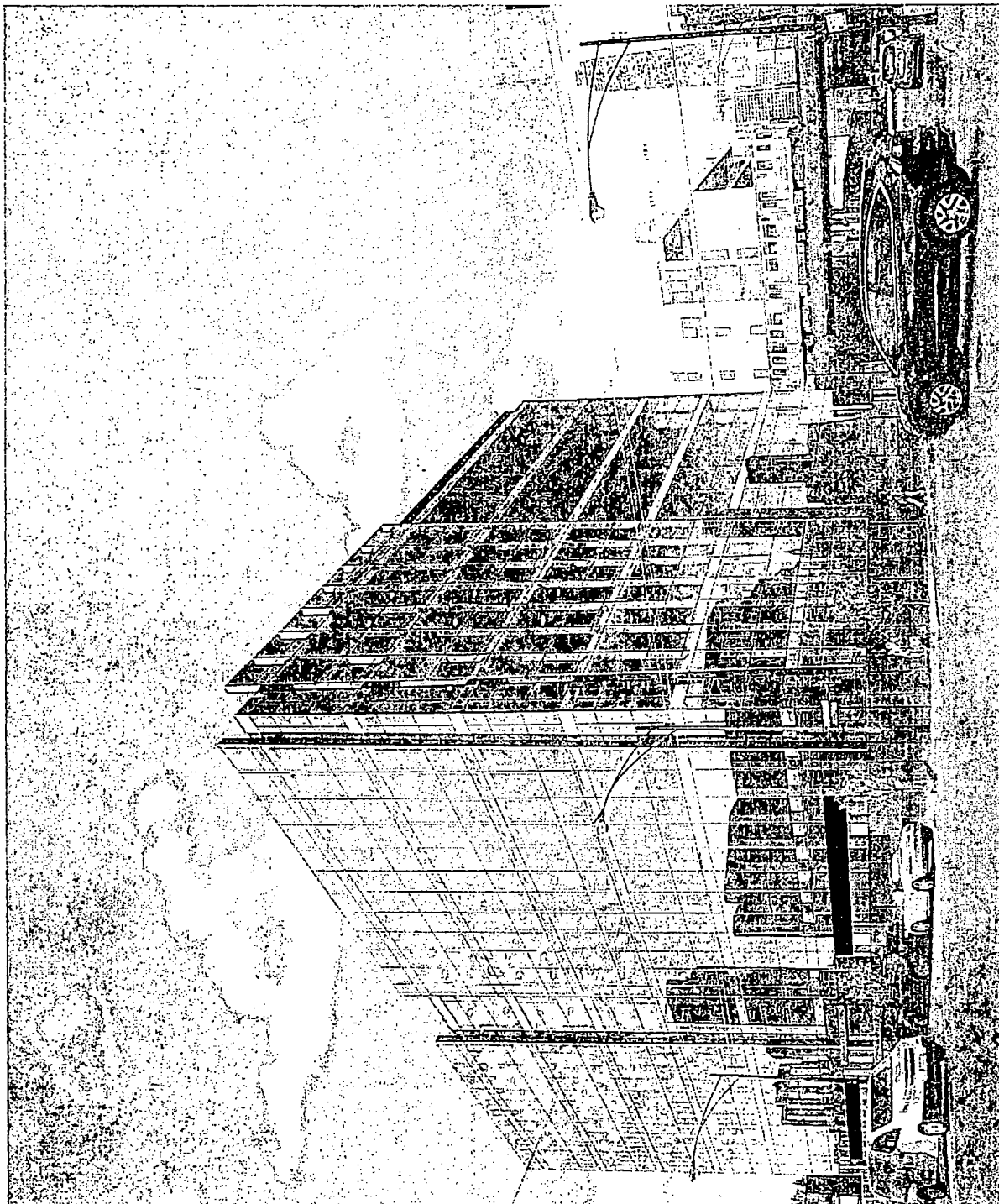
- (a) The Project's Floor Area Ratio:
65,000 square feet (4.52 FAR)
- (b) The Project's Density (Lot Area Per Dwelling Unit):
No dwelling units proposed
- (c) The amount of off-street parking:
*32 parking spaces (12% reduction)

**The Applicants are utilizing the reduction in the amount of required on-site parking (from 36 to 32 spaces), pursuant to the Transit Oriented Development Ordinance, as amended.*

- (d) Setbacks:
 - a. Front Setback: 0'-0"
 - b. Rear Setback: 0'-0"
 - c. Side Setbacks:
North: 0'-0"
South: 0'-0"

- (e) Building Height:
76'-0"

FINAL FOR PUBLICATION



VIEW LOOKING EAST

FINAL FOR PUBLICATION

CTA ELEVATED TRACK - BROWN LINE

20 FOOT PUBLIC ALLEY

ZONING INFORMATION
 EXISTING ZONING (1.2)
 PROPOSED ZONING (1.5)
 REQUIRED PARKING (w/ 20' PUBLIC ALLEY) 32
 LOT AREA 13,900 SF
 ALLOWABLE FAR 3.0
 PROPOSED BUILDING AREA 65,000
 PROPOSED FAR 4.55

PROPERTY LINE

PROPERTY LINE 143.00' +/-

ROOF OF PARKING BELOW

PROPERTY LINE 100.00' +/-

PROPERTY LINE 100.00' +/-

GREEN ROOF

ROOF DECK

STAIR #1

STAIR #2

ELEV. PENTHOUSE

6 STORY OFFICE/RETAIL BUILDING
 +/- 65,000 SQUARE FEET

PROPERTY LINE

PROPERTY LINE 143.00' +/-

GRAPHIC SCALE
 0 10 20
 FEET

N. ORLEANS ST.

1" = 10' PLAN

N

ORLEANS & CHESTNUT
 863 N ORLEANS ST
 CHICAGO, IL 60610

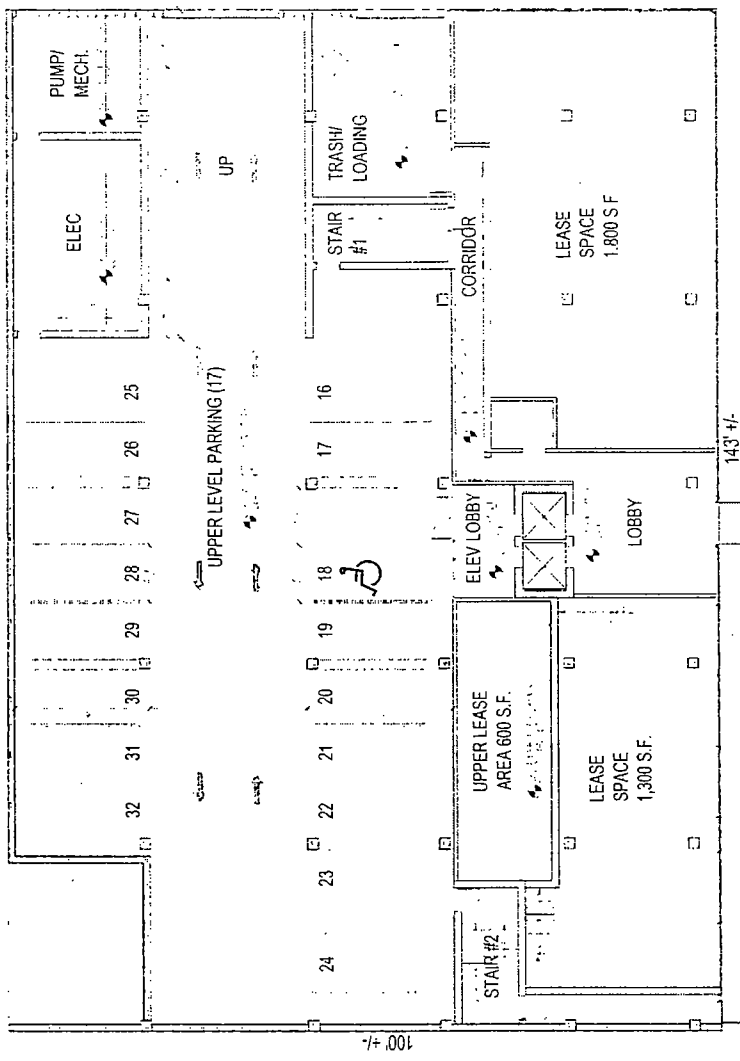
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PUBLIC ALLEY



N. ORLEANS ST.

SCHEMATIC FIRST
FLOOR PLAN

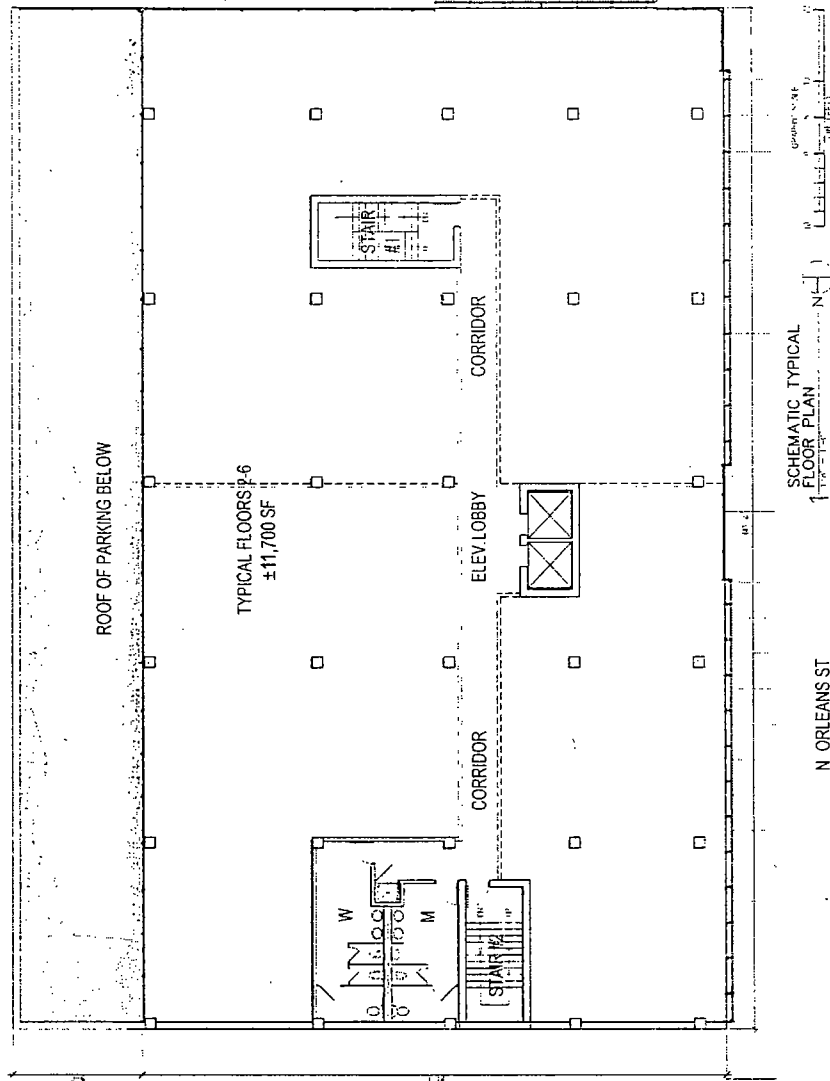
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GRAPHIC SCALE
0' 1" 2" 3" 4" 5" 6" 7" 8" 9" 10'

ORLEANS & CHESTNUT
883 N. ORLEANS ST
CHICAGO, IL 60610

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SCHEMATIC TYPICAL
FLOOR PLAN

N ORLEANS ST

ORLEANS & CHESTNUT
863 N ORLEANS ST
CHICAGO IL 60610

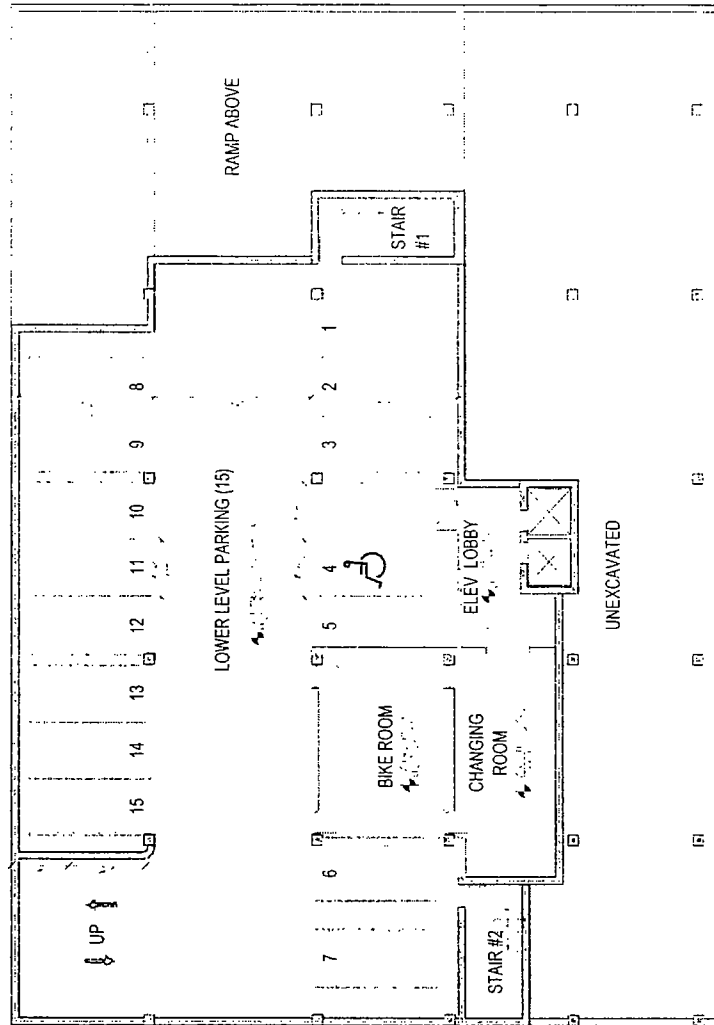


Sheet 1 of 1
1/17/12

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PUBLIC ALLEY



SCHEMATIC LOWER LEVEL
PARKING PLAN
1

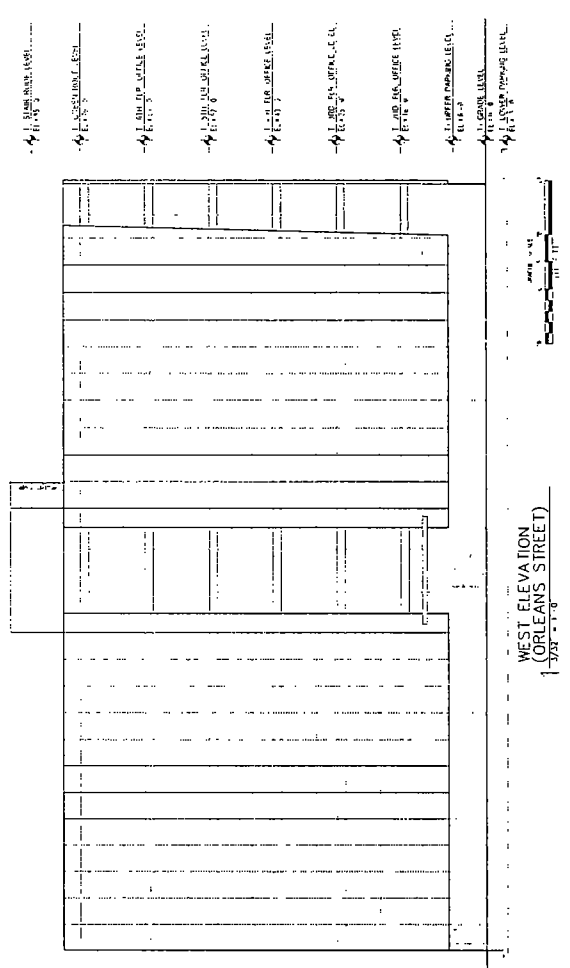
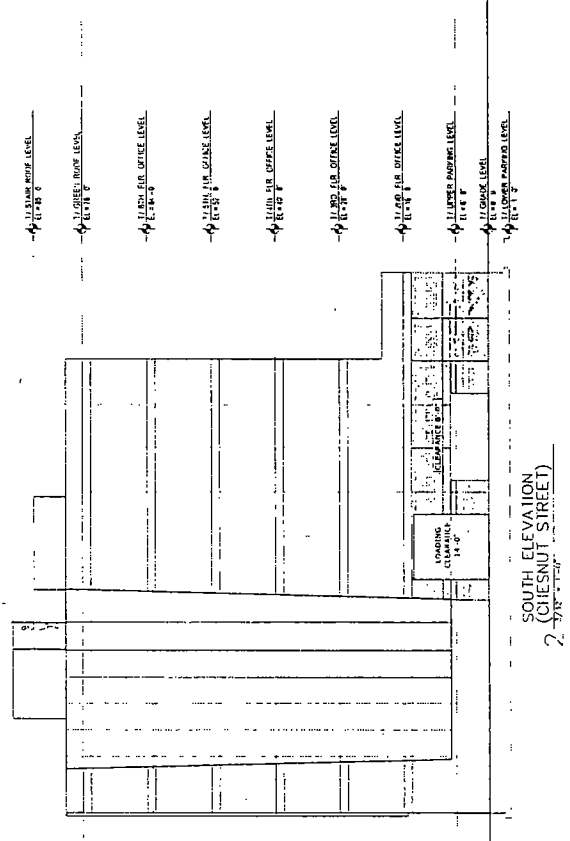
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BY: JTT

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ORLEANS & CHESTNUT
263 N ORLEANS ST
CHICAGO, IL 60610



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ORLEANS & CHESTNUT
863 N ORLEANS ST
CHICAGO, IL 60610

PA
PIKARZ ASSOCIATES P.C.
2080 N ELSTON AVE
CHICAGO, IL 60618
773.242.4300

A4.0



ORLEANS & CHESTNUT
 863 N ORLEANS ST
 CHICAGO, IL 60610
 PHILANZ ASSOCIATES PC
 100 N LAKE ST
 CHICAGO, IL 60601
 TEL 312 527 4300
 FAX 312 527 4301
 WWW.PHILANZ.COM

EAST ELEVATION
(ALLEY)

A4.1

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863 N ORLEANS ST
CHICAGO, IL 60610

P&A
PIERARZ ASSOCIATES P C
2860 N ELSTON AVENUE CHICAGO IL 60618
773 342 4300
c o d e f u n c t i o n s m a s t e r s