



City of Chicago



O2016-6318

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	9/14/2016
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 13-M at 6221-6227 W Gregory St - App No. 18926T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

#18926T1

INTRO. DATE:

SEPT. 14, 2016

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the RS2 Residential Single-Unit (Detached House) District symbols and indications as shown on Map No. 13-M in the area bounded by

West Gregory Street; a line 93.45 feet east of and parallel to the alley the next east of and parallel to North Mobile Avenue (as measured at the southerly right-of-way line of West Gregory Street); the alley next north of and parallel to West Catalpa Avenue; and the alley next east of and parallel to North Mobile Avenue,

to those of a RS3 Residential Single-Unit (Detached House) District and a corresponding uses district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common address of property: 6221-6227 West Gregory Street

**NARRATIVE AND PLANS
FOR THE PROPOSED REZONING AT
6221-27 W GREGORY ST**

The Applicant wishes to change the zoning for 6221-27 W Gregory St from RS-2 to RS-3. The Applicant intends to rehab the existing 1.5 story single family home on Lot 28 and build two 2-story single family residences with a 2-car detached garage per home, no commercial space on Lots 26 and 27.

LOT 26

LOT AREA: 2,999 square feet

FLOOR AREA RATIO: 0.54

BUILDING AREA: 1,600 square feet

OFF-STREET PARKING: there will be a 2-car detached garage

FRONT SETBACK: 20.0 feet

REAR SETBACK: 35.0 feet

SIDE SETBACK: 5.0 feet + 5.0 feet TOTAL: 10.00 feet

REAR YARD OPEN SPACE: 270 square feet

BUILDING HEIGHT: 28 feet 4 inches

LOT 27

LOT AREA: 3,287 square feet

FLOOR AREA RATIO: 0.49

BUILDING AREA: 1,600 square feet

OFF-STREET PARKING: there will be a 2-car detached garage

FRONT SETBACK: 20.0 feet

REAR SETBACK: 44.75 feet

SIDE SETBACK: 5.33 feet + 5.33 feet TOTAL: 10.66 feet

REAR YARD OPEN SPACE: 562 square feet

BUILDING HEIGHT: 28 feet 4 inches

LOT 28

LOT AREA: 3,500 square feet

FLOOR AREA RATIO: 0.55

BUILDING AREA: 1,920 square feet

OFF-STREET PARKING: there will be a 2-car detached garage

FRONT SETBACK: 10.9 feet

REAR SETBACK: 63 feet

SIDE SETBACK: 2.50 feet (W) & 2.44 feet (E) = TOTAL: 4.94 feet

REAR YARD OPEN SPACE: 700 square feet

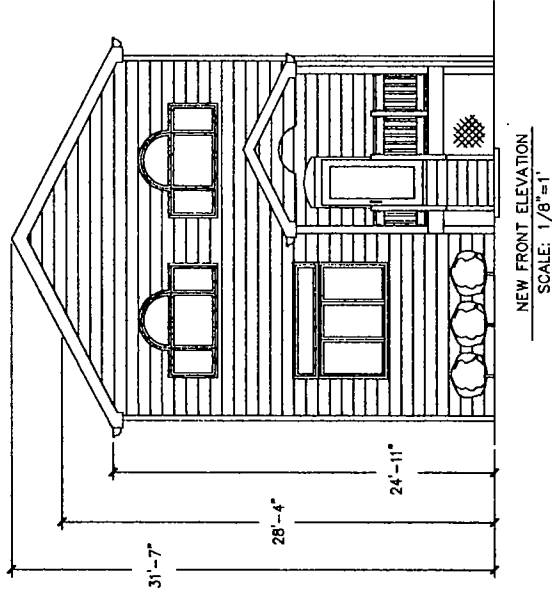
BUILDING HEIGHT: 23 feet 3 inches

FINAL FOR PUBLICATION

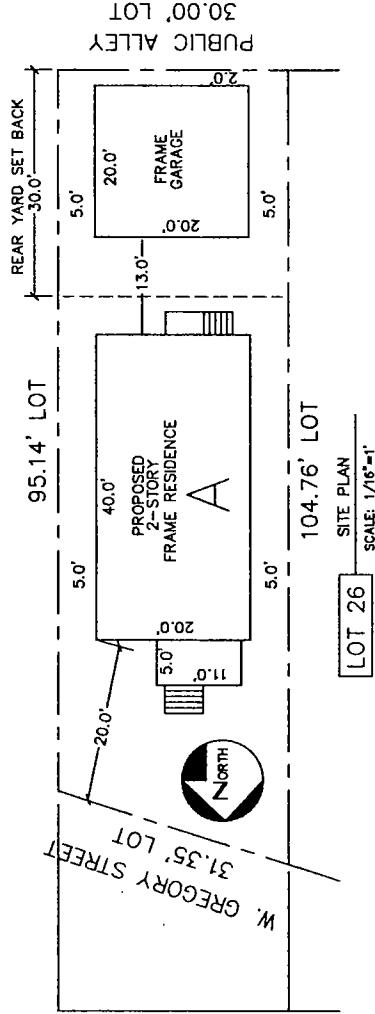
R. Donald Johnson Architects
701 N. Prospect Ave.
Park Ridge, Illinois 60068

PROPOSED GREGORY PROJECT "A"
CHICAGO IL 60630

21



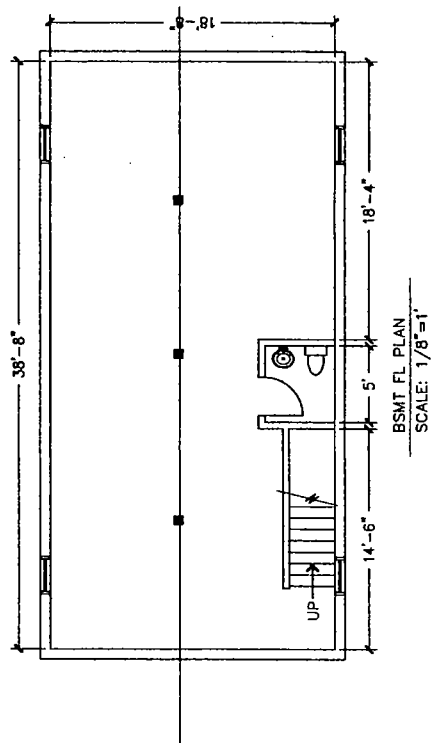
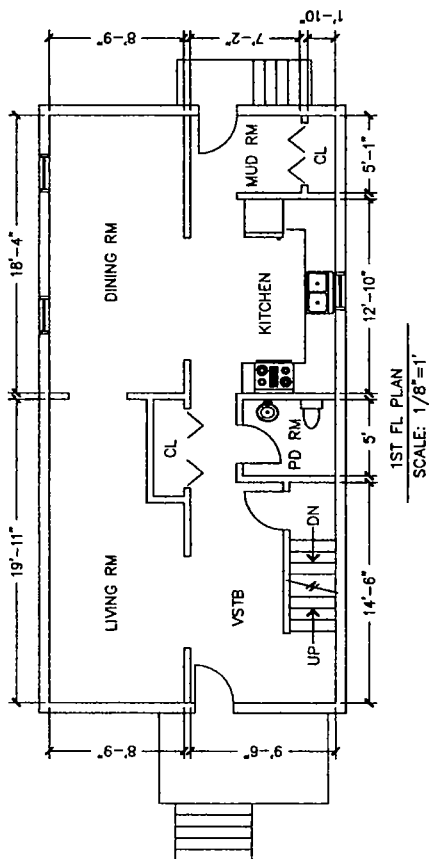
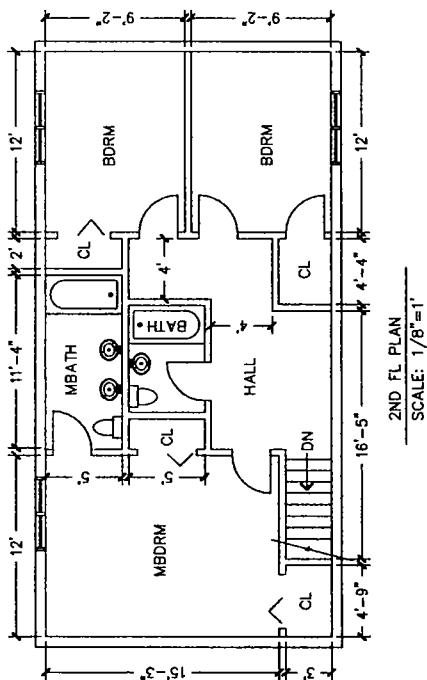
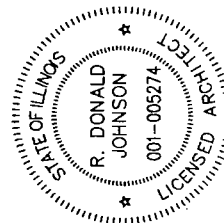
I HEREBY CERTIFY THAT THESE
DRAWINGS WERE PREPARED BY ME
OR UNDER MY SUPERVISION AND TO THE BEST
OF MY KNOWLEDGE CONFORM TO THE
BUILDING CODE OF THE CITY OF CHICAGO
★
R. DONALD JOHNSON
11/30/2016
(EXPIRES: 11/30/2016)

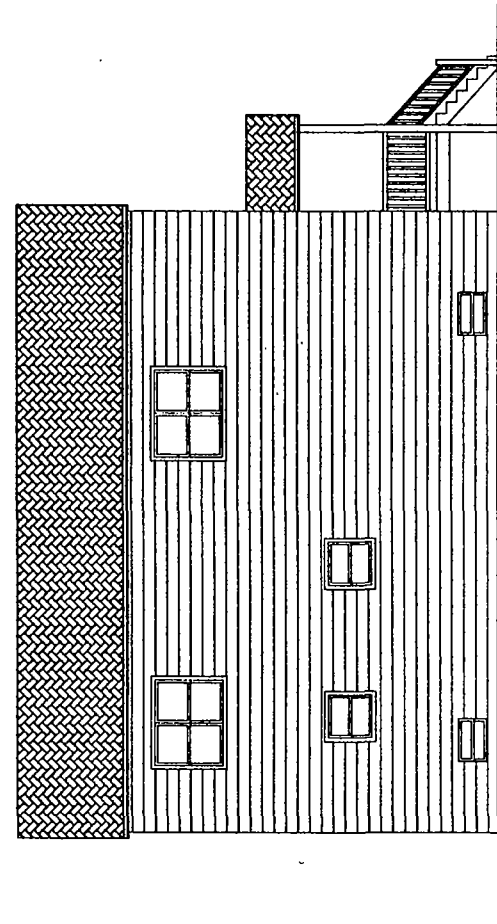
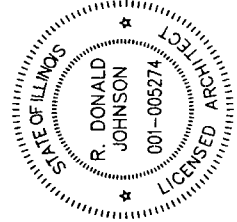


PROPOSED GREGORY PROJECT "A"

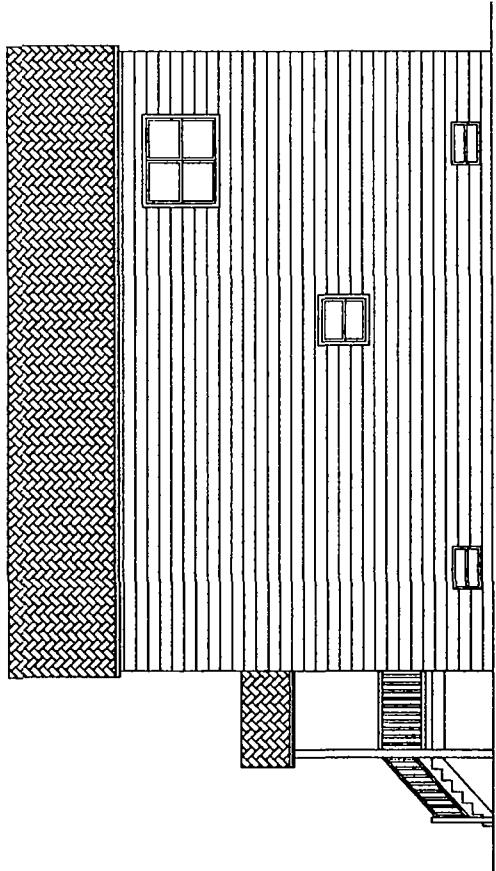
EXISTING 2,999 SF VACANT LOT LOCATED IN AN RS-2 DISTRICT
ALLOWED FAR IN AN RS-2 IS 1,946 SF PROPOSED FLOOR AREA IS 1,600 SF
MINIMUM LOT AREA IN AN RS-2 IS 5,000 SF IF WE ARE DEFICIENT BY 2,006 SF
PROPOSED RS-3 ZONING MIN LOT AREA IS 2,500

FINAL FOR PUBLICATION





EAST ELEVATION
SCALE: 1/8"=1'



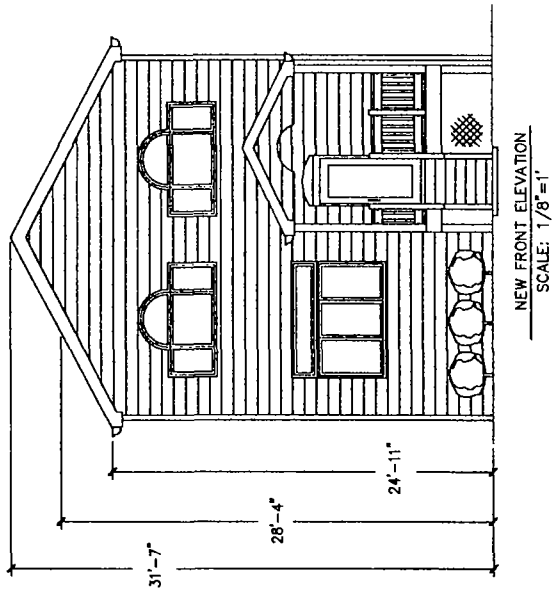
WEST ELEVATION
SCALE: 1/8"=1'

R. Donald Johnson Architects
701 N. Prospect Ave
Park Ridge, Illinois 60068



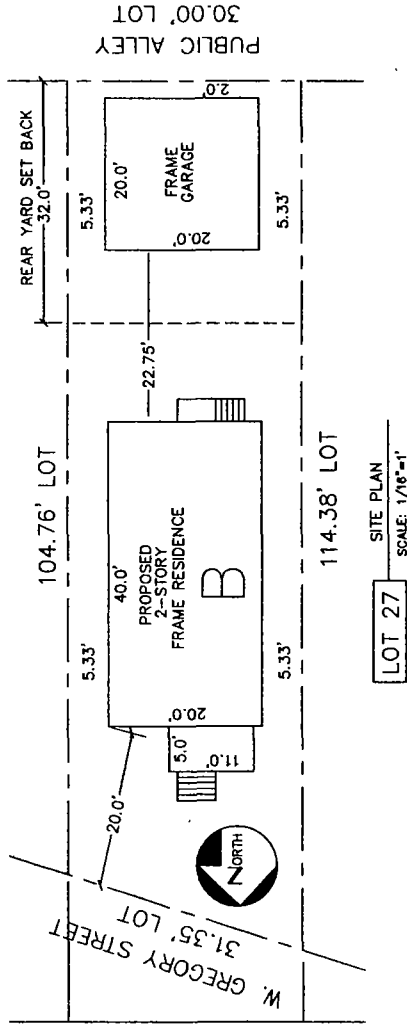
PROPOSED GREGORY PROJECT "B"
CHICAGO IL 60630

17



I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE BUILDING CODE OF THE CITY OF CHICAGO

R. Donald Johnson
R. DONALD JOHNSON
ARCHITECT
NO. 005274
(EXPIRES: 11/30/2016)



PROPOSED GREGORY PROJECT "B"

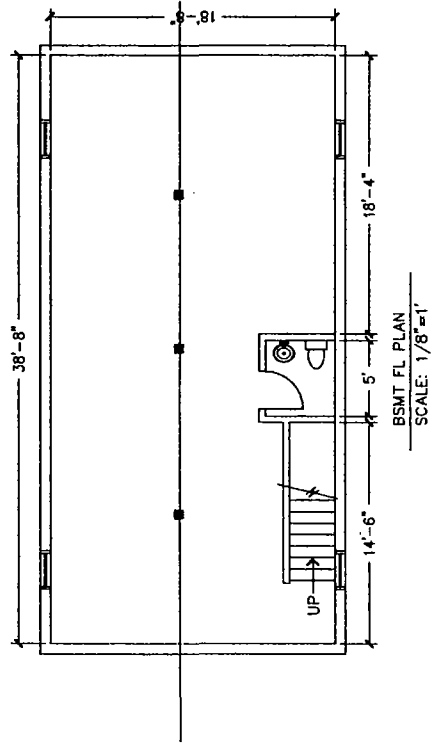
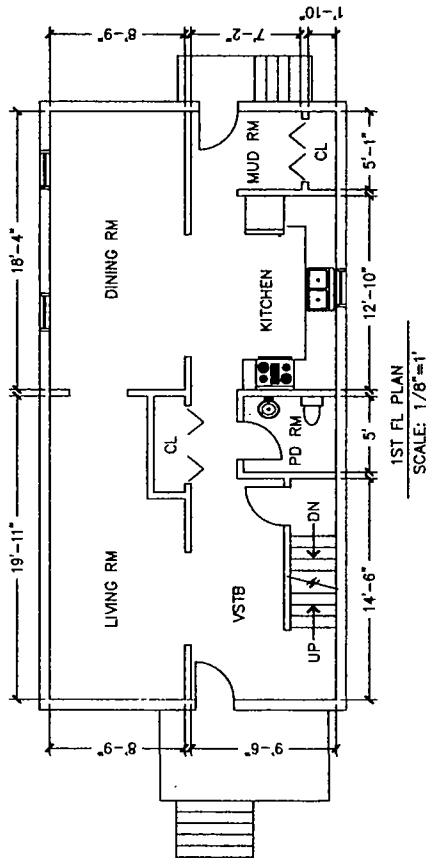
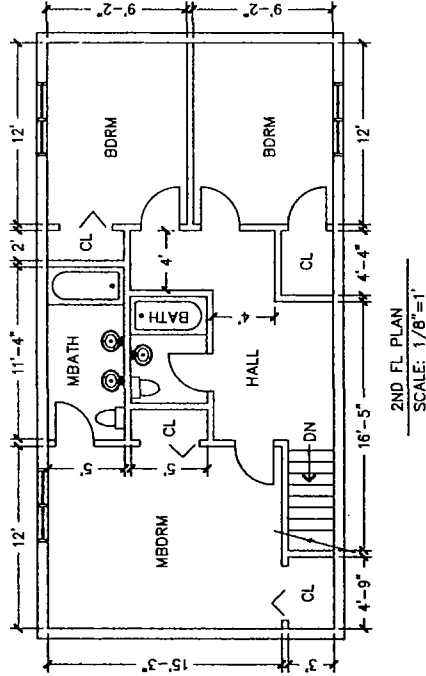
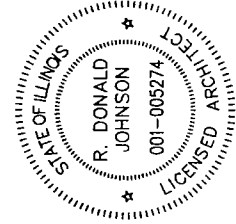
EXISTING 3,287 SF VACANT LOT LOCATED IN AN RS-2 DISTRICT
ALLOWED FAR IN AN RS-2 IS 2,180 SF PROPOSED FLOOR AREA IS 1,600 SF
MINIMUM LOT AREA IN AN RS-2 IS 5,000 SF IF WE ARE DEFICIENT BY 1,645 SF
PROPOSED RS-3 ZONING MIN LOT AREA IS 2,500

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R. Donald Johnson Architects
701 N. Prospect Ave.
Park Ridge, Illinois 60068

PROPOSED GREGORY PROJECT "B"
CHICAGO IL 60630

Z2

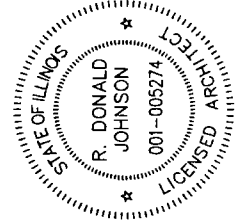


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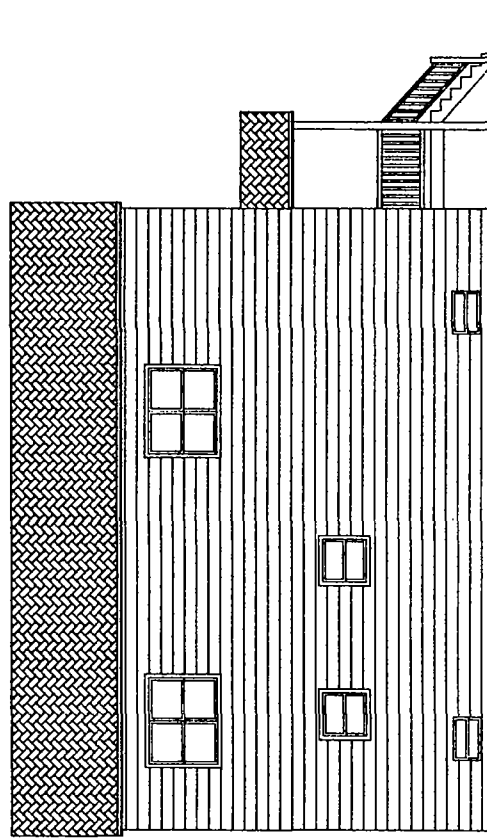
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PROPOSED GREGORY PROJECT "B"
CHICAGO IL 60630

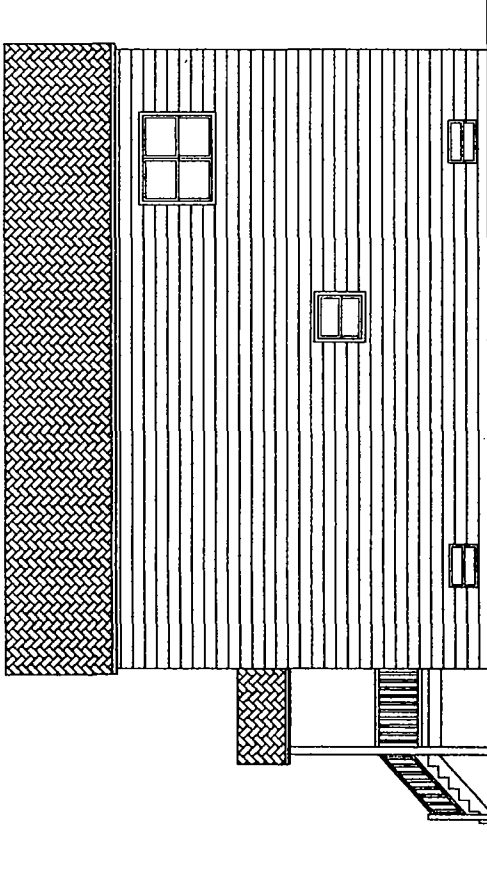
R. Donald Johnson Architects
701 N. Prospect Ave.
Park Ridge, Illinois 60068



EAST ELEVATION
SCALE: 1/8"=1'



WEST ELEVATION
SCALE: 1/8"=1'



FINAL FOR PUBLICATION

I HEREBY CERTIFY THAT THESE
DRAWINGS WERE PREPARED UNDER
MY SUPERVISION AND TO THE BEST
OF MY KNOWLEDGE AND BELIEF THEY
COMPLY WITH THE REQUIREMENTS OF THE
BUILDING CODE OF THE CITY OF CHICAGO

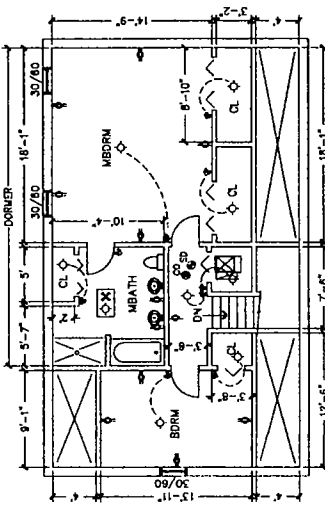
10-05274
Ronald Johnson
R DONALD JOHNSON, C.E. A 110-111
(EXPIRES 11/30/2016)



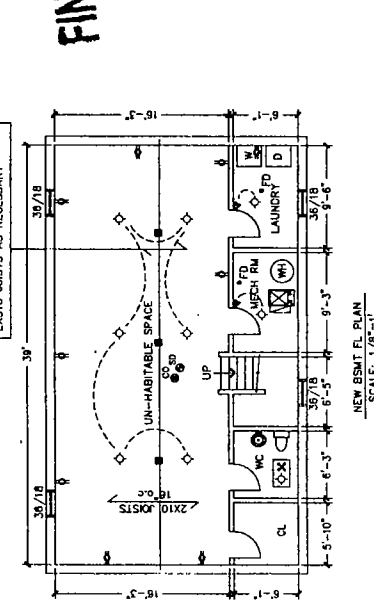
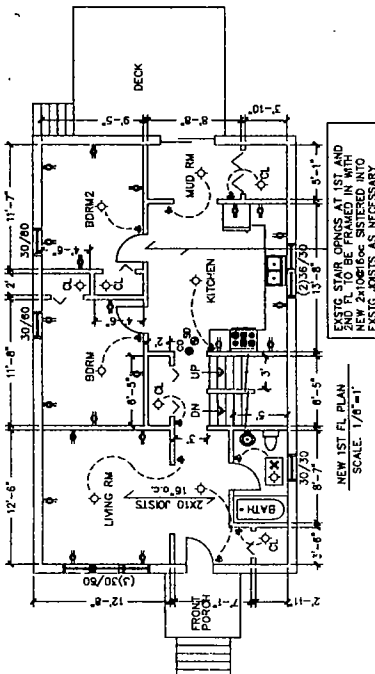
I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL. I ALSO CERTIFY THAT I AM THE BEST OF MY KNOWLEDGE AND BELIEF THESE PLANS FOR 6827 AND 6828 FULLY COMPLY WITH THE REQUIREMENTS OF THE CHICAGO ENERGY CONSERVATION CODE. EXCEPT 18-13-303. I.E. 0000-00524-2008

[Signature] Date: 5/2/18

Signed
IL Lic No. 5274

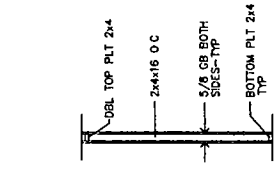


NEW STAIR DATA:
W=36" MIN, R=7'-3/4" MAX,
T=10" MIN W/ 1" NOSING,
MIN HEADROOM 6'-8"
36" HIGH HANDRAILS



CONSTRUCTION NOTES:
1) INSIDE OF EXT WALLS TO BE 2X12 JOISTING 24" OC.
2) NEW PARTITIONS TO BE 2X4 STUDS 16" OC.
3) NEW PARTITIONS TO BE 2X4 STUDS 16" OC.
4) NEW PARTITIONS TO BE 2X4 STUDS 16" OC.
5) NEW PARTITIONS TO BE 2X4 STUDS 16" OC.
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10) NEW PARTITIONS TO BE 2X4 STUDS 16" OC.



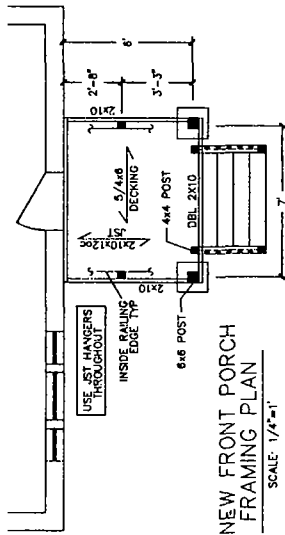
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FL	SPACE	SF	CODE REQ'D		ACTUAL	
			LIGHT	VENT	LIGHT	VENT
BSMT FL	OPEN SP	632	—	—	4.5	2.25
1ST FL	WC	38	—	57 CFM	—	110 CFM
	LIVING RM	148	11.64	5.92	37.5	18.75
	KITCHEN	176	14.08	7.04	15.0	7.5
	BATH	42	—	63 CFM	—	110 CFM
	BDRM	111	8.88	4.44	12.5	6.2
	BDRM2	111	8.88	4.44	12.5	6.2
	BDRM	125	10.0	5.0	12.5	6.2
	BDRM	287	21.36	10.68	25.0	12.5
	MBATH	98	—	147 CFM	—	200 CFM

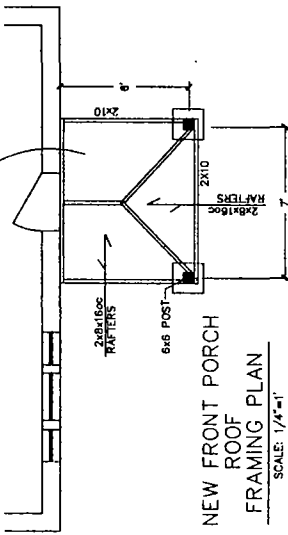
SECTION AT EAST
EXTERIOR WALL

SCALE: 1/4"=1'

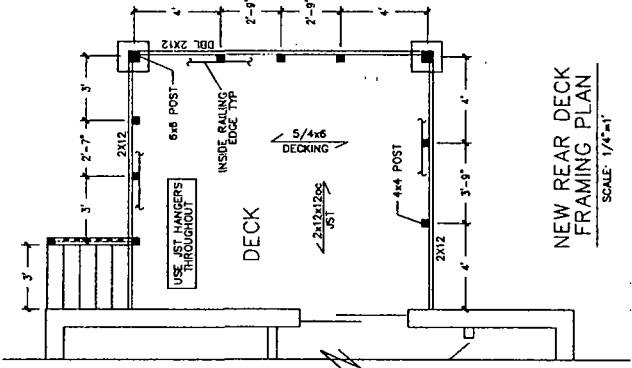




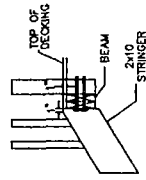
2x6x10s RAFTERS W/ 2x10 RIDGE BOARD
5/8 CDX PLYWOOD SHEATHING, 15# FELT,
2x6x10s JOISTS. PROVIDE 1/2" CEDAR
FASCIA AND 1/2" CDX PLYWOOD SOFFITS W/ 2" PVC
VENTS 24" O.C.



NEW FRONT ROOF
FRAMING PLAN
SCALE: 1/4"=1'



NEW REAR DECK
FRAMING PLAN
SCALE: 1/4"=1'

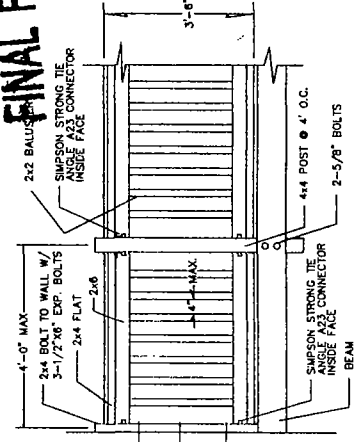


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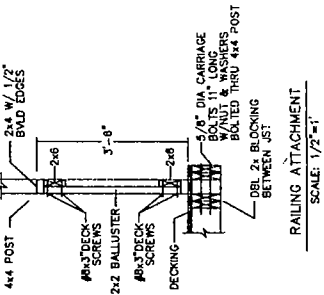
DESIGN LOADS

DESIGN LIVE LOAD	= 100psf
DESIGN DEAD LOAD	= 10psf
TOTAL LOAD	= 110psf
GUARD RAIL LATERAL	= 200lbs
POINT LOAD	= 500lbs
CONTINUOUS	= 500lbs

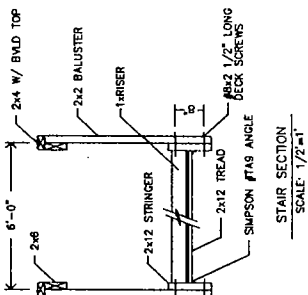
MATERIALS
POST:
TREATED NO. 1 SOUTHERN
YELLOW PINE OR BETTER
OTHER MEMBERS:
TREATED NO. 2 SOUTHERN
YELLOW PINE OR BETTER
ALL FASTENERS AND HARDWARE
TO BE S3N STL OR HOT DIP
GALV PER ASTM A153, Q193



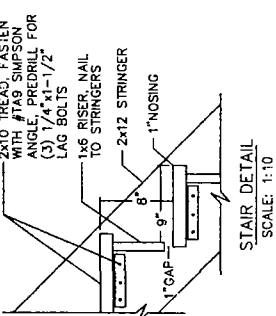
GUARD RAIL DETAIL
SCALE: 1/2"=1'



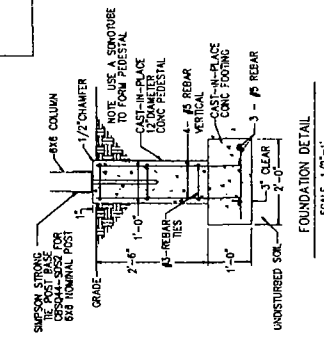
RAILING ATTACHMENT
SCALE: 1/2"=1'



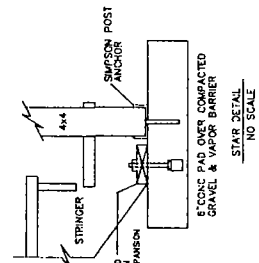
STAIR SECTION
SCALE: 1/2"=1'



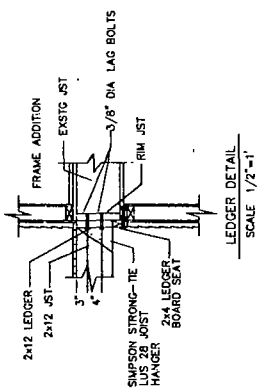
STAIR DETAIL
SCALE: 1:10



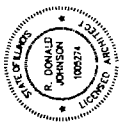
FOUNDATION DETAIL
SCALE: 1/2"=1'



STAIR DETAIL
NO SCALE



LEDGER DETAIL
SCALE: 1/2"=1'



CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS
AND TO VERIFY ALL EXISTING CONDITIONS
AND TO VERIFY ALL EXISTING CONDITIONS
AND TO VERIFY ALL EXISTING CONDITIONS
AND TO VERIFY ALL EXISTING CONDITIONS

GENERAL UNDERPINNING NOTES

- 1) ALL CONCRETE IS TO HAVE 28 DAY COMPRESSIVE STRENGTHS OF 4000psi. PRECAST CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 5000psi IN 28 DAYS. CONCRETE SHALL HAVE 5 1/2 BAGS MINIMUM OF CEMENT. CONCRETE IS TO HAVE 24" TO 28" MAXIMUM SLUMP SHALL BE 9" WITHOUT ADJUSTIVE. CONCRETE IS TO HAVE 24" TO 28" MAXIMUM SLUMP SHALL BE 9" WITHOUT ADJUSTIVE. COPIES OF CONCRETE DELIVERY TICKETS ARE TO BE SUBMITTED TO THE OWNERS REPRESENTATIVE.
- 2) STEEL SHALL BE ASTM A36. REINFORCING STEEL SHALL BE ASTM 615 GRADE 60.
- 3) SOIL BEARING PRESSURE FOR NEW UNDERPINNING SHALL BE 3000psi MINIMUM AND NEW UNDERPINNINGS SHALL BEAR ON UNDISTURBED YELLOW CLAY.
- 4) EXCAVATIONS SHALL BE CLEANED OF ALL LOOSE SOIL AND DEBRIS BEFORE PLACING NEW CONCRETE. DAMPEN BEFORE PLACING CONCRETE.
- 5) CONCRETE IS TO BE WELL VIBRATED TO INSURE COMPLETE FILLING AND PREVENT AIR BUBBLES FROM BEING TRAPPED UNDER THE EXISTING FOUNDATION WALL.
- 6) WORK ON ADJACENT AREAS MAY BE STARTED SOONER IF CONCRETE CYLINDER TESTS ARE TAKEN AND TESTED BY AN APPROVED TESTING LAB TO ASCERTAIN CONCRETE STRENGTHS.
- 7) EXISTING FOOTING DEPTHS, SIZES, LOCATIONS, AND ALL PERTINENT DIMENSIONS ARE TO BE VERIFIED BEFORE STARTING THE WORK AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE OWNERS REPRESENTATIVES AS SOON AS POSSIBLE.
- 8) OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE REQUIREMENTS AS SOON AS POSSIBLE AND BEFORE WORK IS CONTINUED.
- 9) ADDITIONAL WORK WILL BE REQUIRED AS NOTED IN THE DRAWINGS/REPORT.
- 10) WORK ON THE FIRST FLOOR, NEW SECOND FLOOR AND NEW ROOF SHALL NOT BE STARTED UNTIL ALL UNDERPINNING AND BASEMENT WORK IS COMPLETED AND CURED.
- DEMOLITION AND SHORING:
 - 1) CONTRACTOR MUST PROVIDE SHORING ON WEST SIDE OF BUILDING DURING CONSTRUCTION
 - 2) CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR THE DESIGNING AND INSTALLATION OF ALL TEMPORARY SHORING WHICH IS TO BE USED FOR EARTH RETENTION.

UNDERPINNING OF WALL:

THE FOLLOWING PROCEDURE IS RECOMMENDED AND OTHER PROCEDURES WITH SIMILAR END RESULTS MAY BE PROPOSED AND SUBMITTED FOR APPROVAL BY THE ENGINEER OF RECORD. THESE PROCEDURES LIST THE GENERAL PHASES AND MAY NOT INCLUDE ALL STEPS AND/OR WORK THAT WILL BE REQUIRED TO PERFORM OR COMPLETE THESE PHASES.

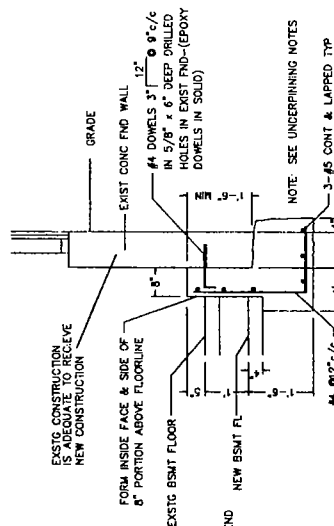
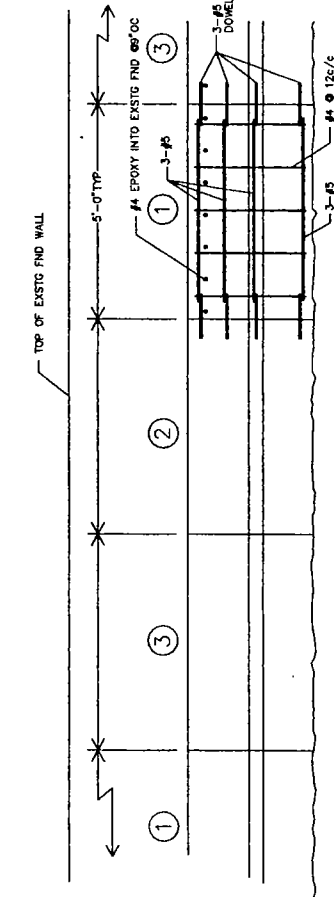
ALL DIMENSIONS AND LOCATIONS MUST BE VERIFIED BEFORE STARTING THE WORK.

PROCEDURE FOR UNDERPINNING

- 1) REMOVE EXISTING BASEMENT FLOOR SLAB AND EXCAVATE ONLY AS REQUIRED TO INSTALL THE AREA TO BE WORKED. EXCAVATION SHALL BE 4" DEEPER THAN THE EXISTING FLOOR SLAB. EXCAVATION SHALL BE 4" DEEPER THAN THE EXISTING FLOOR SLAB. UTILITIES IS ENCOUNTERED, CONTRACTOR IS TO REMOVE AND REPLACE OR RELOCATE AS REQUIRED.

DO NOT OVER-EXCAVATE

- ALL AREA 1s ARE TO BE WORKED ON AT THE SAME TIME. SEE PLAN.
- EXCAVATE ALL AREA 1s ONLY AS REQUIRED TO INSTALL FORMS AND CONCRETE. BOTTOM OF EXCAVATION IS TO BE LEVEL, FLOOR SLAB AND DEBRIS AND SHALL BE LEVEL AND BE OF FIRM UNDISTURBED SOIL WITH A MINIMUM BEARING OF 3000psi MINIMUM.
- INSTALL REINFORCING. DOWELS IN THE BOTTOM OF THE NEW UNDERPINNING ARE TO BE PUSHED INTO THE EXISTING 1"-6".
- FORM THE INTERIOR FACES OF THE NEW UNDERPINNING. THE SIDES OF THE NEW UNDERPINNING ARE TO BE FORMED DOWN TO THE NEW FLOOR LINE ONLY. THE BALANCE OF THE NEW UNDERPINNING IS TO BE UNFORMED. THE CONCRETE WILL BE PLACED AGAINST THE GRADE. DRILL HOLES IN THE SIDE FORMS AND INSTALL DOWELS.
- PLACE CONCRETE AS REQUIRED. CONCRETE IS TO BE WELL VIBRATED TO INSURE FULL BEARING UNDER THE EXISTING WALL.
- ALLOW 7 DAYS FOR CONCRETE TO CURE. DEPENDING ON WEATHER AND STRENGTH OF CONCRETE, CONCRETE MUST ATTAIN 80% OF 28 DAY COMPRESSIVE STRENGTH BEFORE STARTING ON NEXT AREA.
- WORK ON ALL AREA 2s MAY PROCEED AS PER NOTES 1, 2, 3, 4, 5, AND 6. ALL AREA 2s ARE TO BE WORKED ON AT THE SAME TIME. BEFORE PLACING CONCRETE, ADJACENT PREVIOUSLY PLACED CONCRETE AND DOWELS MUST BE CLEANED USING HIGH PRESSURE WATER AND/OR AIR.
- AFTER ALL AREA 2s ARE COMPLETED AND AFTER THE 7 DAY CURING TIME FOR AREA 2, AREA 3 MAY BE STARTED AS PER NOTES 1, 2, 3, 4, 5, AND 6.
- CHECK DRAIN TILE UTILITIES, ETC. IN THE AREA, TO INSURE THEY ARE WORKING PROPERLY. PRESSURE INJECT EPOXY IN ALL CRACKS AND JOINTS. REPLACE OTHER APURTANCES THAT ARE REMOVED AS REQUIRED.
- REMOVE BALANCE OF BASEMENT FLOOR SLAB AND EXCAVATE AS REQUIRED FOR THE NEW 4" MINIMUM CONCRETE BASEMENT FLOOR SLAB WITH 6"x6" and 4" MINIMUM COMPACTED STONE SUB-BASE.
- WORK ON UPPER FLOORS AND ROOF CAN BE STARTED AFTER BASEMENT FLOOR IS COMPLETED.



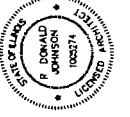
NOTE: UNDERPINNING IS TO BE COMPLETED & CURED FOR 7 DAYS BEFORE BALANCE OF BASEMENT IS EXCAVATED

WORK ON FIRST & SECOND FLOORS AND ROOF IS TO BE STARTED AFTER NEW BASEMENT FLOOR IS PLACED

UNDERPINNING DETAILS
SCALE: 1/2"=1'

FINAL FOR PUBLICATION





FINAL FOR PUBLICATION

SECTIONS & DETAILS
PLANS & DETAILS

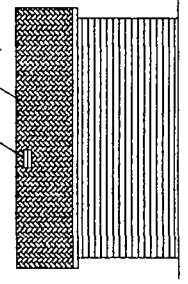
Drawn
Checked
Date

6227 W GREGORY
CHICAGO IL

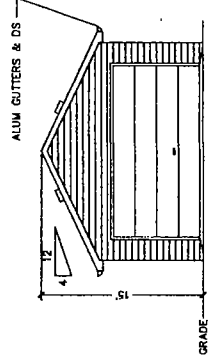
R. Donald Johnson Architects
701 N. Prospect Ave.
Park Ridge, Illinois 60068

Sheet No
A5

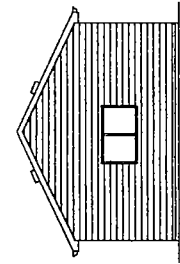
2-ROOF VENTS
2x10x24OC RAFTERS
5/8 CDX PLYWOOD, FELT
& ASPHALT SHINGLES



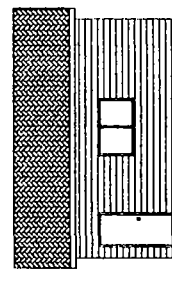
WEST ELEVATION



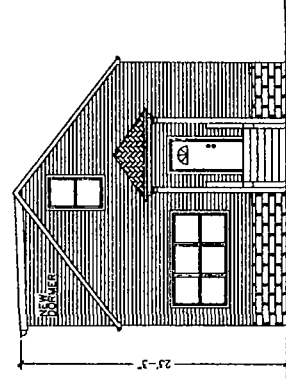
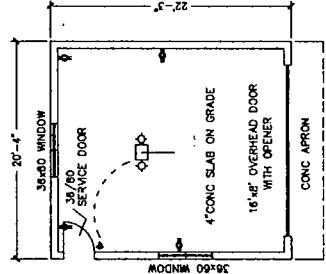
SOUTH ELEVATION



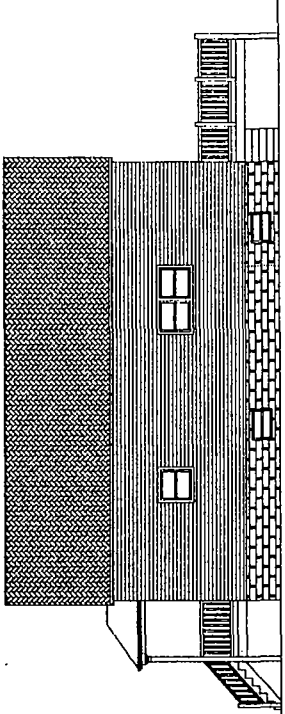
NORTH ELEVATION



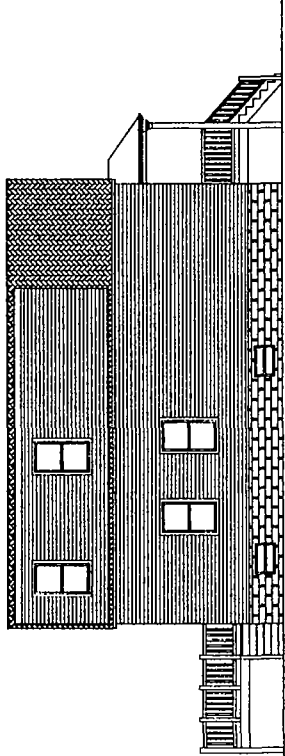
EAST ELEVATION



FRONT ELEVATION
SCALE: 1/8"=1'



EAST ELEVATION
SCALE: 1/8"=1'



WEST ELEVATION
SCALE: 1/8"=1'

CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS
BEFORE THE COMMENCEMENT OF WORK. THE
OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL
NECESSARY PERMITS AND FOR THE AREA IN QUESTION.



SECTIONS & DETAILS
PLANS & DETAILS

Drawn
Checked
Date

6227 W GREGORY
CHICAGO IL

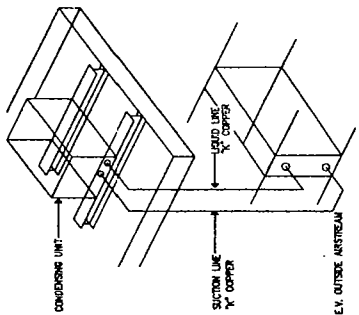
R. Donald Johnson Architects
701 N. Franklin Ave.
P.O. Box 10000

NOTES:

ALL WORK TO CONFORM TO THE CHICAGO BUILDING CODE
PROVIDE HANDHELD DEVICE @ FURNACE
ALL DUCTS TO BE 2650 SHEET METAL
ALL BRANCH DUCTS TO HAVE LOCK TYPE DAMPERS
ALL MAIN DUCTS TO HAVE LOCK TYPE DAMPERS
ALL DAMPERS AND REGISTERS TO HAVE VOL. CONTROL DAMPERS
ALL REGISTERS TO BE 5" MAX. FROM WALL
ALL FLOOR REGISTERS ARE 3/4"2
ALL CEILING DIFFUSERS ARE 4"10
BEDROOM & BATH DOORS TO BE UNDERCUT 1"
MODE LEVEL NOT TO EXCEED 3/8" IN HABITABLE SPACES
PROVIDE 1/4" DETECTOR VALVE IN ALL ROOMS SERVING
HABITABLE SPACES
VENT SIZING TO BE 4"10 OR PER LATEST NATIONAL FUEL GAS CODE
VENT TO EXTEND MIN 2" ABOVE ROOF RISE LINE
FOR EXISTING BOILERS AND WATER HEATERS
COMBUSTION AIR TO BE PROVIDED FROM H/LOW OPENINGS-
MIN 115 SQ. IN. EACH, MIN 12" FROM C.G., MIN 12" FROM FLOOR
OR 4" DIA METAL DUCT FOR OUTSIDE COMBUSTION AIR

ADDITIONAL NOTES:

- A) CLEARANCES FOR FORCED AIR FURNACES MUST CONFORM TO MANUFACTURER'S REQUIREMENTS
- B) ALL DUCTWORK TO BE GALV. STL. OR STN. STL.
- C) SMOKE DET. AND CO. DET. ARE SHOWN ON SITS 2.1.4
- D) IF PROJECT INCLUDES A FURNACE CIG OR FLOOR-LEVEL FURNACE, THE CONTRACTOR SHALL GUARANTEE THAT THE FURNACE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND THAT ALL SOURCES OF AIR CONTAMINATION FROM TRAPS, SOIL STACKS, DOWNSPOUTS, VENTS AND ALL OTHER SOURCES OF CONTAMINATION WILL BE EXCLUDED SUCH THAT NO CONTAMINATED AIR WILL BE RECIRCULATED



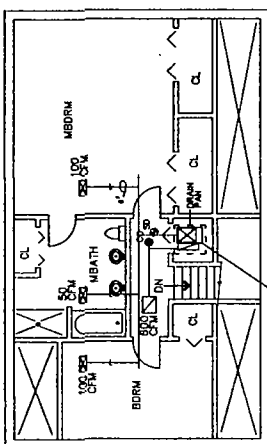
- ☐ INSTALL PRESSURE RELIEF VALVE ON HIGH PRESSURE SIDE OF SYSTEM, UPSTREAM OF ANY INTERRUPTING VALVES
- ☐ REMOVED CONDENSING VALVES, DEVICES, & CONNECTIONS FROM AIR STREAM
- ☐ REFRIGERATION PIPING TO BE TYPE 1/2" COPPER OR ASR PROVIDED
- ☐ PRESSURE DOES NOT EXCEED AIR RATED CAPACITY
- ☐ ALL CONNECTIONS AND DEVICES TO BE BRANDED

REFRIGERATION SCHEDULE

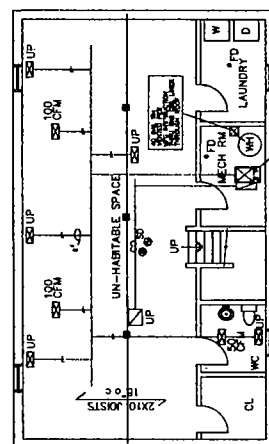
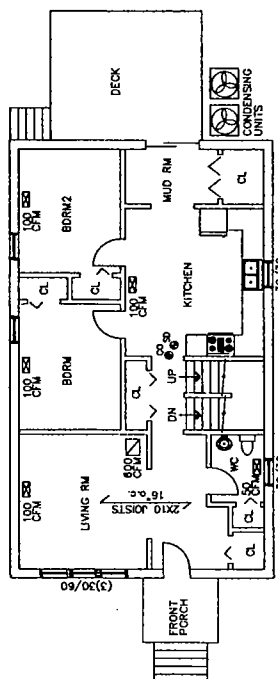
TAG	MA.	COMP.	TON	HP	REFRIG.	WT.	REDUCT.	SELF CONT.	LOCATION	AIR COOL	HDD COOL
F-1	1	2.5	2.5	R-22	5.04	✓			R 1400	✓	
F-2	1	2.5	2.5	R-22	5.04	✓			R 1400	✓	

FURNACE DATA - INSTALL PER MFG INSTRUCTIONS				
LOCATION	MFG. & MODEL NO. (OR EQUIV.)	BTU/HR INPUT	BTU/HR OUTPUT	AREA HEATED
BSMT	RUDO #JURA-OTEMAKES	75,000	70,000	700 BSMT & 1ST FL
1ST FL	RUDO #JURA-OTEMAKES	75,000	70,000	250

HEATING DATA				
FL	SPACE	SF	ACTUAL BTU/HR	PLAN RECD SUPPLY CFM @ 75 F
BSMT FL	OPEN SP	632	25,280	250
	WC	38	1,520	50
	TOTAL	670	26,800	300
1ST FL	LIVING RM	148	5,920	52
	KITCHEN	176	7,040	62
	BATH	42	1,680	30
	BDRM	111	4,440	50
	BDRM2	111	4,440	50
	TOTAL	598	23,520	264
2ND FL	BDRM	125	5,000	50
	MDRM	267	10,680	93
	MBATH	96	3,920	50
	TOTAL	488	19,600	193



- DAMPER
- SUPPLY 3/4"2
- RETURN 3/4"2
- MR WALL RETURN
- WS WALL SUPPLY



NEW BSMT FL PLAN
SCALE: 1/8"=1'