



City of Chicago



SO2017-7044

Office of the City Clerk

Document Tracking Sheet

Meeting Date: 10/11/2017

Sponsor(s): Misc. Transmittal

Type: Ordinance

Title: Zoning Reclassification Map No. 3-G at 1328-1372 W
Walton St - App No. 19391T1

Committee(s) Assignment: Committee on Zoning, Landmarks and Building Standards

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17, of the Municipal Code of Chicago, the Chicago Zoning Ordinance be amended by changing all the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map No. 3-G in the area bounded by

the alley next north of and parallel to West Walton Street; the alley next southwest of and parallel to North Milwaukee Avenue; West Walton Street; and North Noble Street,

to those of a B2-3 Neighborhood Mixed-Use District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 1328-1372 West Walton Street

FINAL FOR PUBLICATION

17-13-0303-C (1) Narrative Zoning Analysis – SUBSTITUTE NARRATIVE AND PLANS
1328-1372 West Walton Street, Chicago, Illinois

Proposed Zoning: B2-3 Neighborhood Mixed-Use District

Lot Area: 49,620 square feet (total lot area)

Proposed Land Use: The Applicant is seeking a zoning change in order to permit the construction of eight (8) new three-and-half-story residential buildings, at the subject site. Each new building will contain a total of six (6) dwelling units – for a total of forty-eight (48) dwelling units, at the site, in its entirety. Each new proposed building will have its frontage on Walton Street, with on-site parking, for six (6) vehicles, located at the rear of each building – for a total of forty-nine (48) off-street parking spaces, on the site. Each new building will be masonry in construction and measure 47 feet–6 inches or less in height.

For The Site – In Its Entirety:

(a) The Project’s Floor Area Ratio: 84,217 square feet (1.7 FAR)

(b) The Project’s Density - Lot Area Per Dwelling Unit:
48 dwelling units (1,034 square feet per dwelling unit)

(c) The amount of off-street parking: 48 parking spaces

(d) Setbacks:

a. Front Setback: 3 feet-1 inches

b. Rear Setback: 0 feet-0 inches

**The Applicant will be seeking a Variation to reduce the rear setback.*

c. Side Setbacks:
West: 0 feet-0 inches
East: 0 feet-0 inches

**The Applicant will seek a Variation to reduce the side setbacks, should such be required.*

(e) Building Height: 47 feet–6 inches

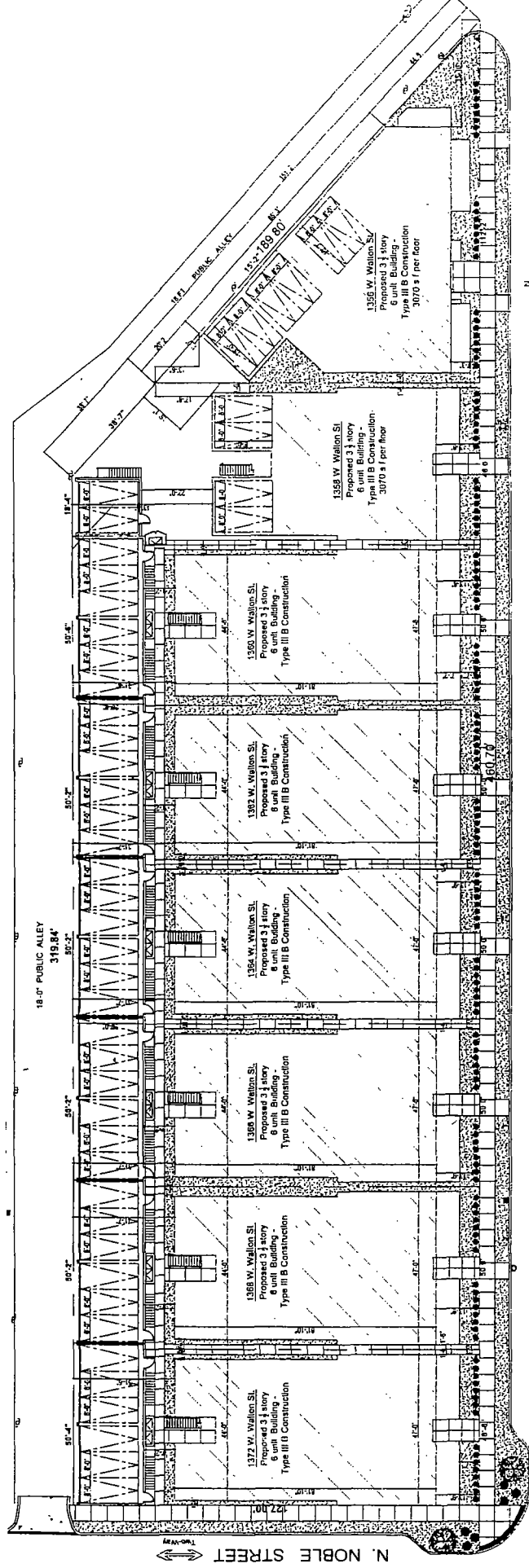
FINAL FOR PUBLICATION

1356-72 W. Walton Street

Chicago

Illinois

FINAL FOR PUBLICATION



SITE PLAN

Scale: 3/32" = 1'-0"

W. WALTON STREET



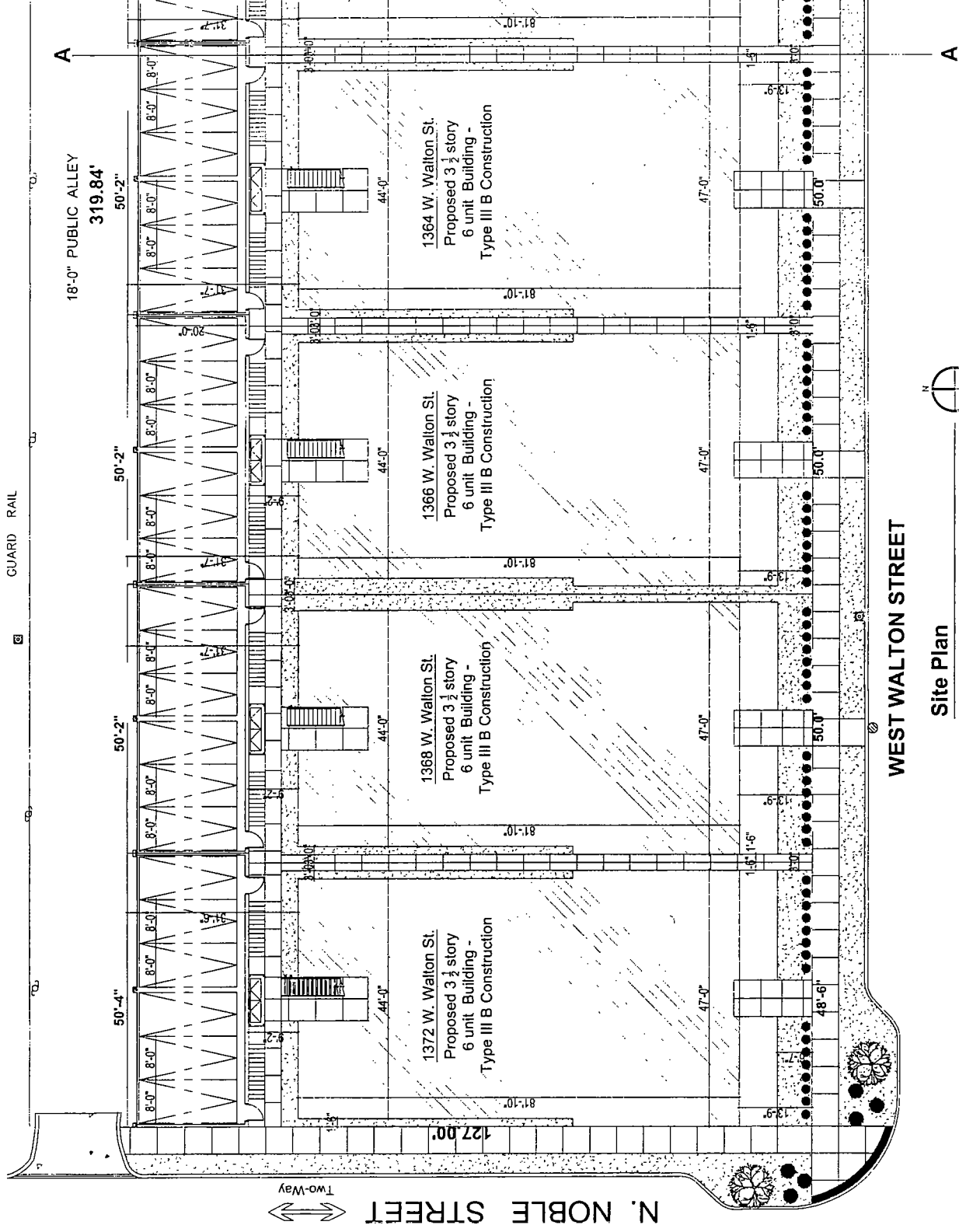
X I O S ARCHITECTS & CONSULTANTS

168 W. WELLS
SUITE 204
CHICAGO, ILLINOIS 60610
TEL: 312.750.1333
FAX: 312.750.7333

JANUARY 08, 2018

3009 W. MONROE
CHICAGO, ILLINOIS 60618

noah
ARCHITECTS



Site Plan

Scale: NOT TO SCALE

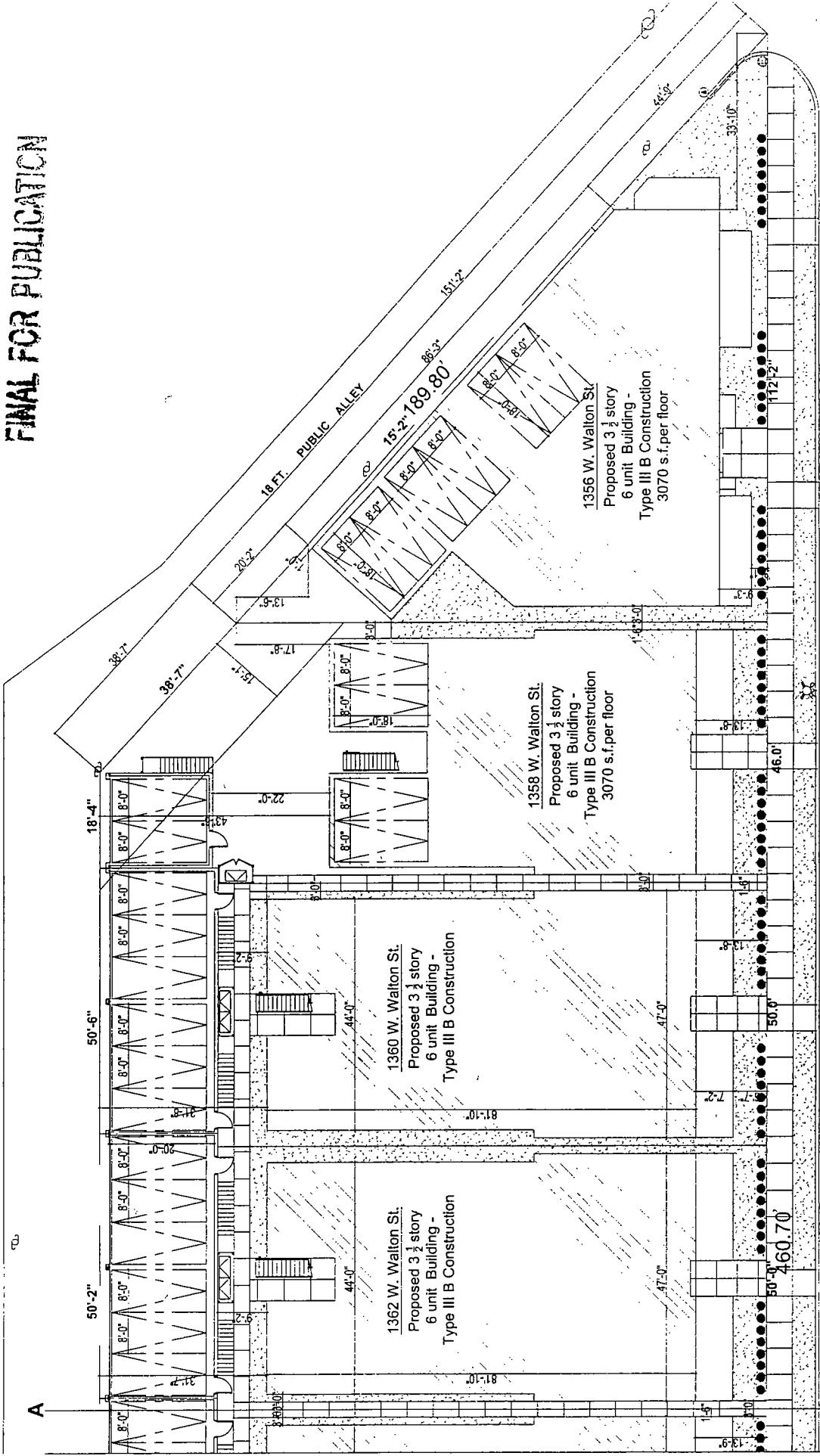


1356 -1372 W. Walton St.

Chicago

Illinois

FINAL FOR PUBLICATION



WEST WALTON STREET

Site Plan

Scale: NOT TO SCALE



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1356 W. WALTON ST.
SUITE 205
CHICAGO ILLINOIS 60614

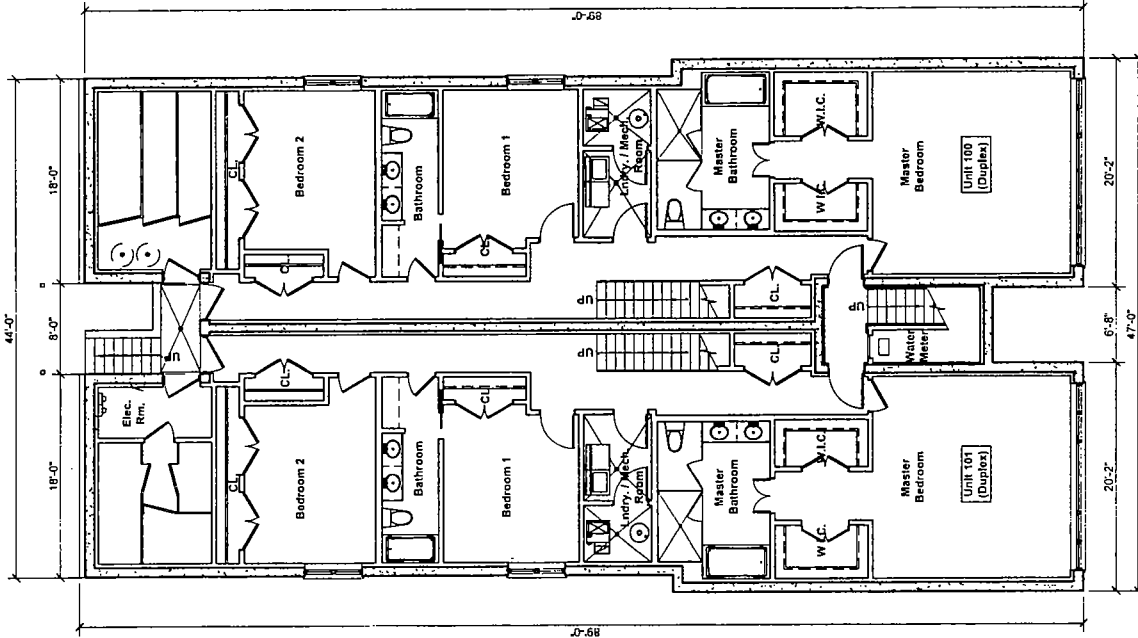
PH: 312.758.1333
FAX: 312.758.1335

noah

JANUARY 08, 2018

1356 W. WALTON ST.
CHICAGO ILLINOIS 60614

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Basement Floor Plan

Scale: 1/8" = 1'-0"

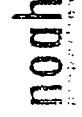
PROJECT DATA - 1360 - 72 N. Walton St.

Address	1360 N Walton St	1362 N Walton St	1364 N Walton St	1366 N Walton St	1372 N Walton St
Lot dimensions	See Site Plan	See Site Plan	See Site Plan	See Site Plan	See Site Plan
Lot area	6,370 sq ft	6,361 sq ft	6,359 sq ft	6,359 sq ft	6,203 sq ft
Zoning district current	RS-3	RS-3	RS-3	RS-3	RS-3
Propose Zoning district	B2-3	B2-3	B2-3	B2-3	B2-3
Min lot area per dwelling unit	400 sq ft. per dwelling unit	400 sq.ft. per dwelling unit	400 sq ft. per dwelling unit	400 sq ft. per dwelling unit	400 sq ft. per dwelling unit
Max. number of dwelling units	6,370 / 400 = 15 Units	6,361 / 400 = 15 Units	6,359 / 400 = 15 Units	6,359 / 400 = 15 Units	6,359 / 400 = 15 Units
Proposed number of dwelling units	6 Proposed Unit	6 Proposed Unit	6 Proposed Unit	6 Proposed Unit	6 Proposed Unit
Proposed Typical Floor Area	First floor: 3,273 sq ft Second floor: 3,639 sq ft Third floor: 3,609 sq ft Penhouse: 350 sq ft Total floor area: 10,841 sq ft.	Typical Building Height Maximum Building Height Proposed Building Height	Typical Proposed Yards Front yard setback (South) Side yard setback (West) Side yard setback (East) Rear yard setback (North)	Typical Proposed Yards Front yard setback (South) Side yard setback (West) Side yard setback (East) Rear yard setback (North)	6 Parking Spaces 6 Parking Spaces
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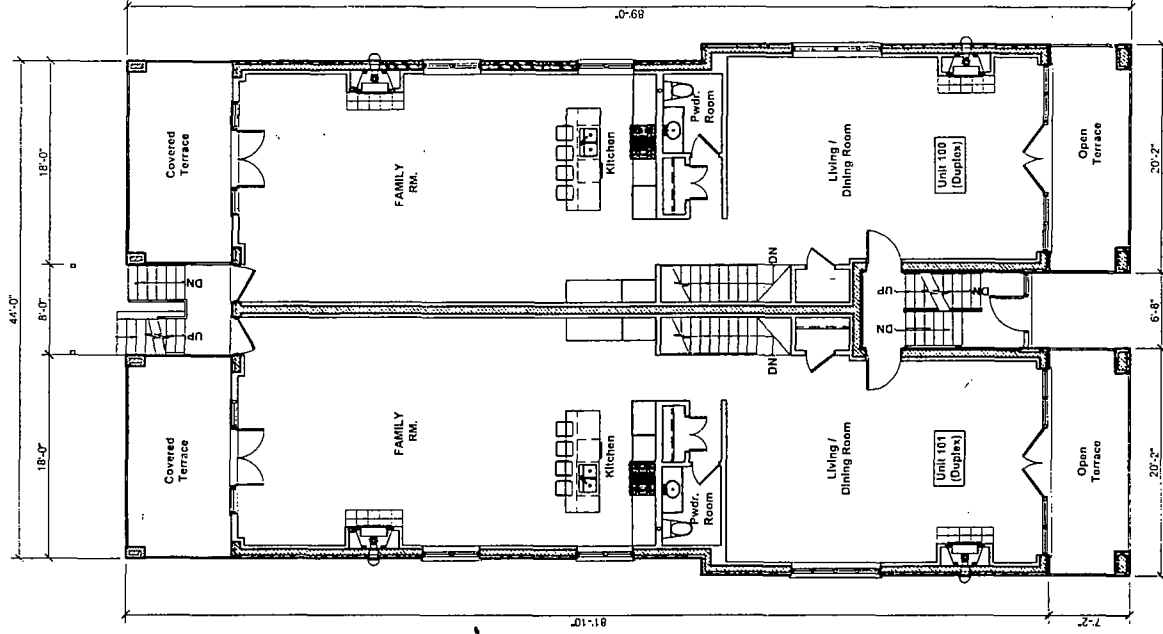
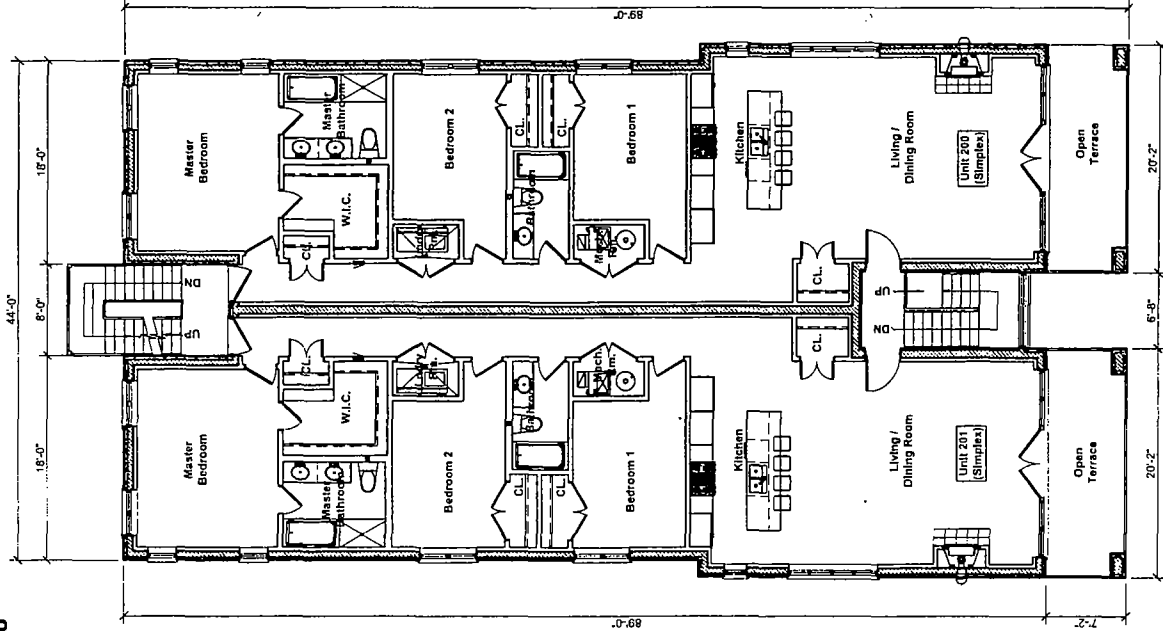
X I O S ARCHITECTS & CONSULTANTS

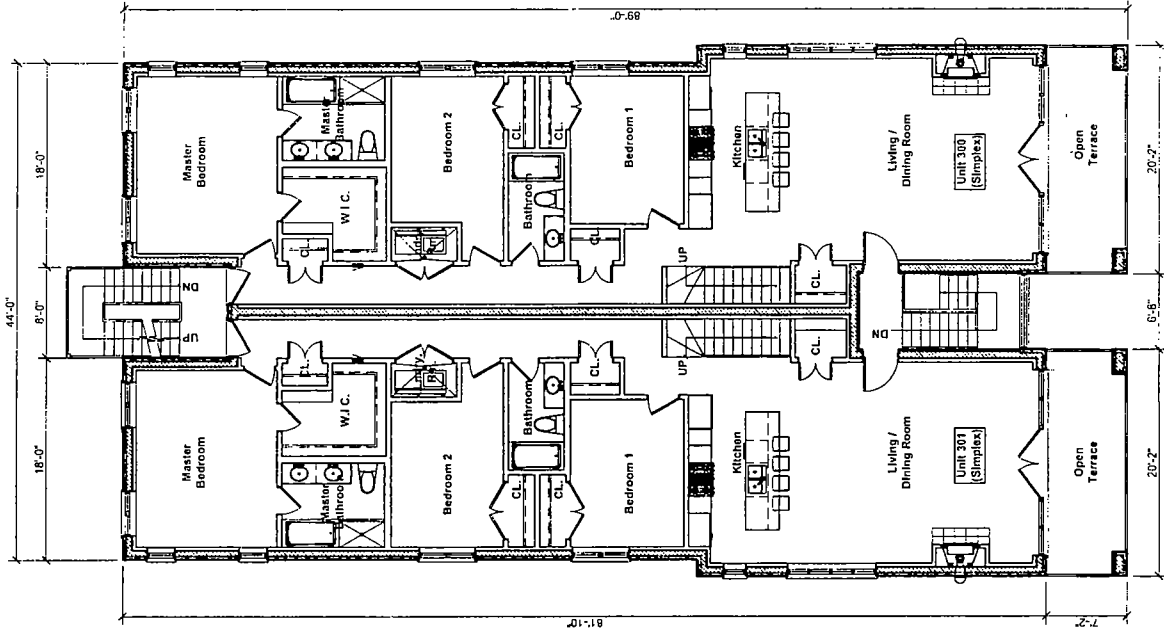
188 N. WELLS
CHICAGO ILLINOIS 60604 P. 312.759.1333
F. 312.759.1335



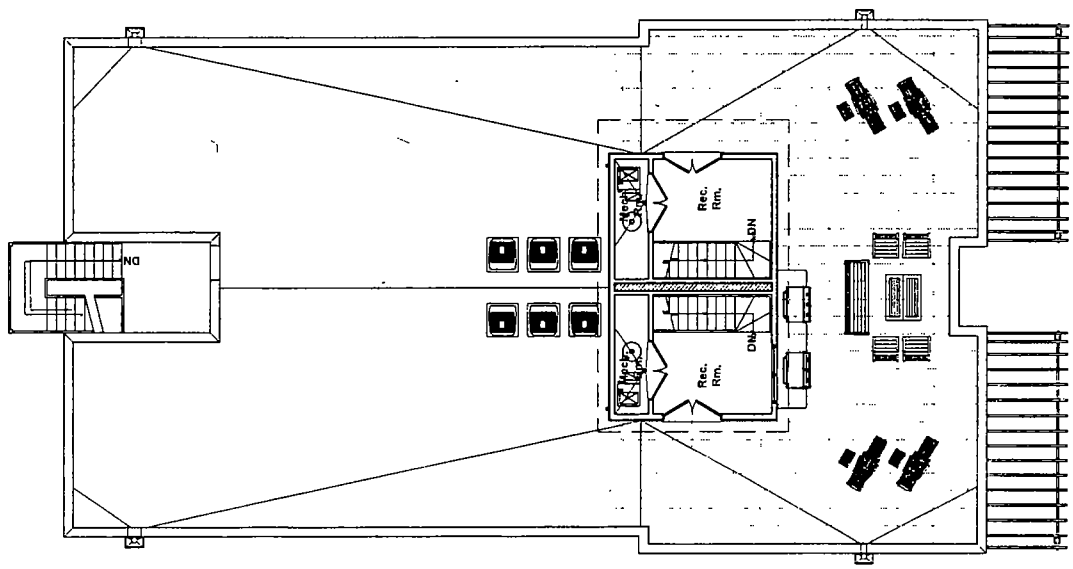
3008 W. MENTROSA
CHICAGO ILLINOIS 60618

JANUARY 08, 2016





Third Floor Plan
Scale: 1/8" = 1'-0"



Roof Plan
Scale: 1/8" = 1'-0"



X I O S ARCHITECTS & CONSULTANTS

188 N. WELLS
CHICAGO, ILLINOIS 60608
PH: 312.758.1331
FAX: 312.758.1334

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JANUARY 08 2018

300 S. W. MARSHALL
CHICAGO, ILLINOIS 60618

1362-72 W. Walton St.

Illinois

Chicago

BTU/Penthouse Roof Truss
EL. +46'-5"

T/ Roof / Penthouse
EL. +38'-5"

BTU/ Roof Truss
EL. +37'-2"

T/ Third Floor
EL. +27'-2"

T/ Second Floor
EL. +15'-10"

T/ First Floor
EL. +4'-5"

T/ Grade
EL. +0'-0"

BTU/Penthouse Roof Truss
EL. +46'-5"

T/ Roof / Penthouse
EL. +38'-5"

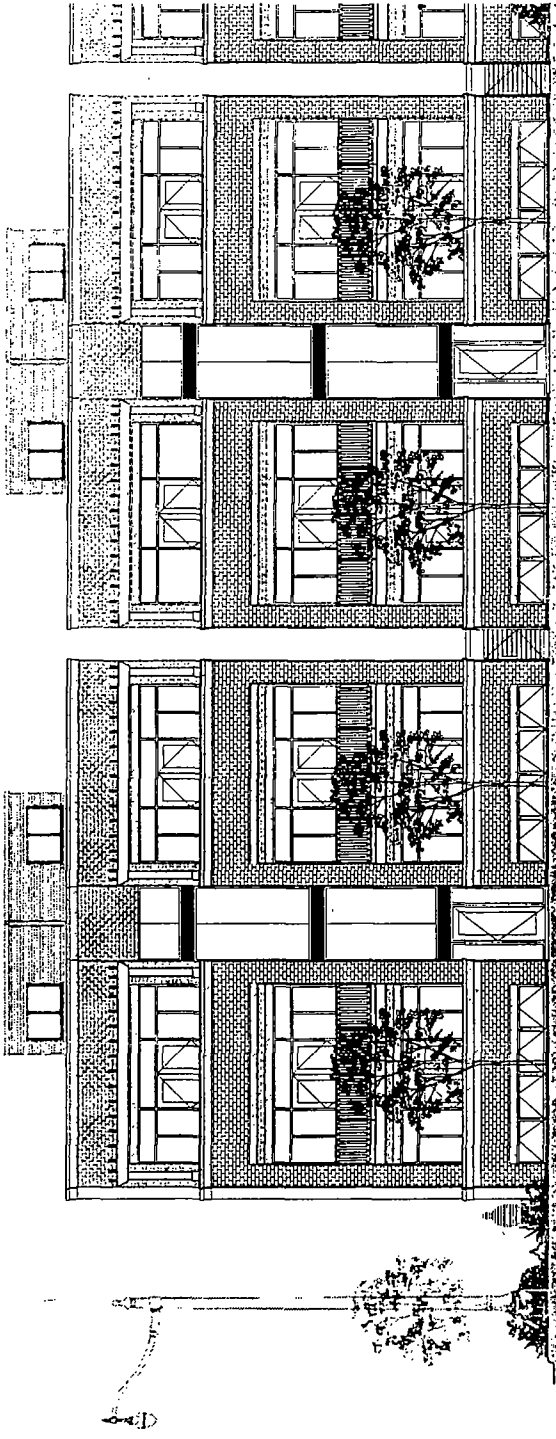
BTU/ Roof Truss
EL. +37'-2"

T/ Third Floor
EL. +27'-2"

T/ Second Floor
EL. +15'-10"

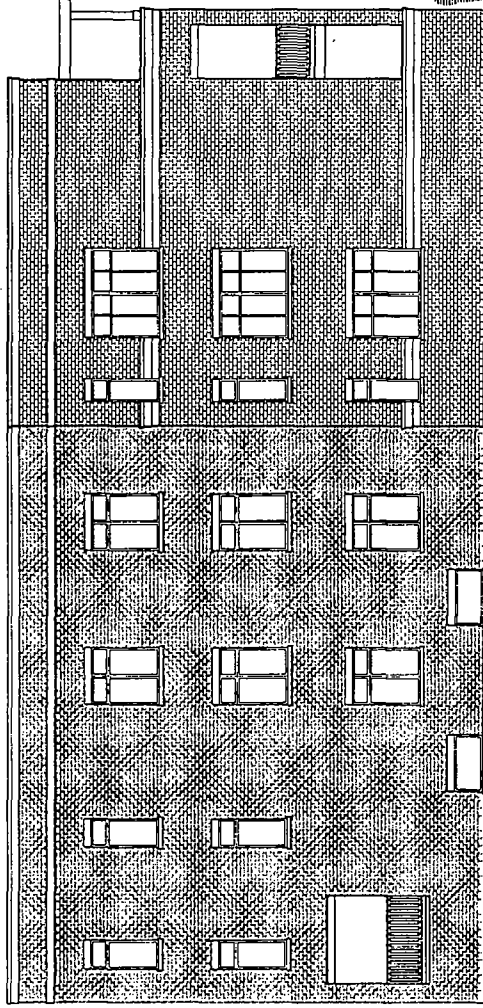
T/ First Floor
EL. +4'-5"

T/ Grade
EL. +0'-0"



South Elevation

Scale: 1/8" = 1'-0"



West Elevation

Scale: 1/8" = 1'-0"



X I O S ARCHITECTS & CONSULTANTS

3011 S. LAKE
SUITE 305
CHICAGO, ILLINOIS 60608 P.A.S. 312.750.1333

JANUARY 08 2016

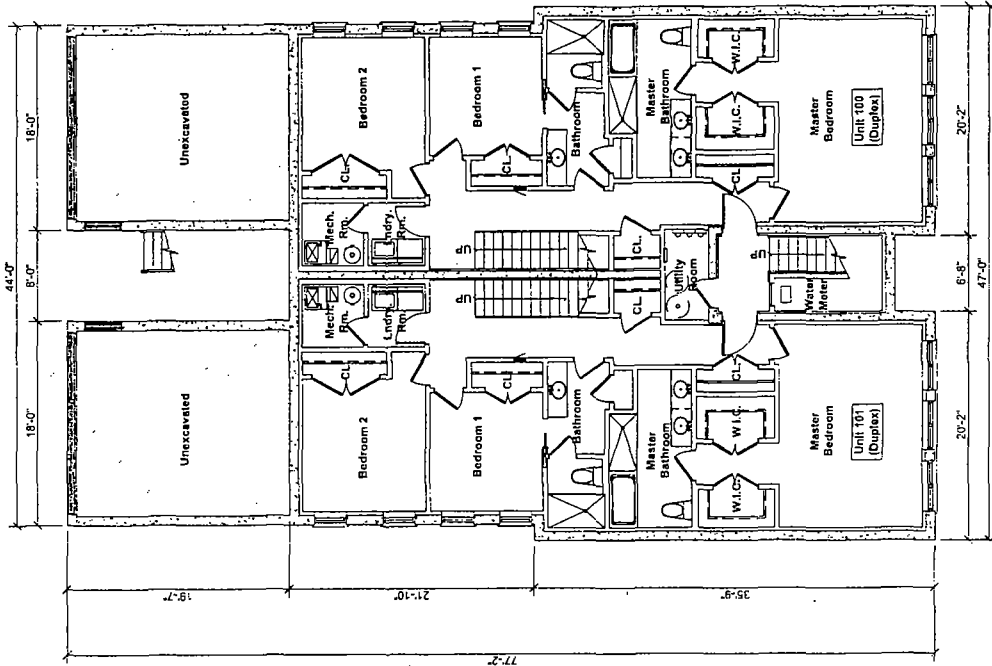
1009 W. Montrose
CHICAGO ILLINOIS 60616

noah

WE WILL BE SEEKING A REAR YARD REDUCTION
THE ZONING BOARD OF APPEALS (ZBA) FROM 30'-0"
TO 15'-1"

PROJECT DATA - 1358 N. Walton St.

Address	1358N Walton St
Lot dimensions	See Site Plan
Lot area	5,922 sq ft
Zoning district current	RS-3
Propose Zoning district	B2-3
Min. lot area per dwelling unit	400 sq ft per dwelling unit
Max. number of dwelling units	5,922 / 400 = 14 Units
Propose number of dwelling units	6 Propose: Unit
Max. allowable floor area	5,922 sq ft x 3.0 (Max Ratio) = 17,766 sq ft
Proposed Floor Area	
First floor	2,321 sq ft
Second floor	3,039 sq ft
Third floor	3,039 sq ft
Penthouse	453 sq ft
Total floor area	8,852 sq ft
Building Height	
Maximum Building Height	60'-0"
Proposed Building Height	46'-6"
Required Yards	
Front yard setback (South)	0'-0"
Side yard setback (West)	0'-0"
Side yard setback (East)	0'-0"
Rear yard setback (North)	30'-0"
Proposed Yards	
Front yard setback (South)	6'-7"
Side yard setback (West)	0'-0"
Side yard setback (East)	1'-6"
Rear yard setback (North)	17'-8" (Exception)
Off Street Parking	
Required Parking	6 Parking Spaces
Proposed Parking	6 Parking Spaces



Basement Floor Plan

Scale: 1/8" = 1'-0"



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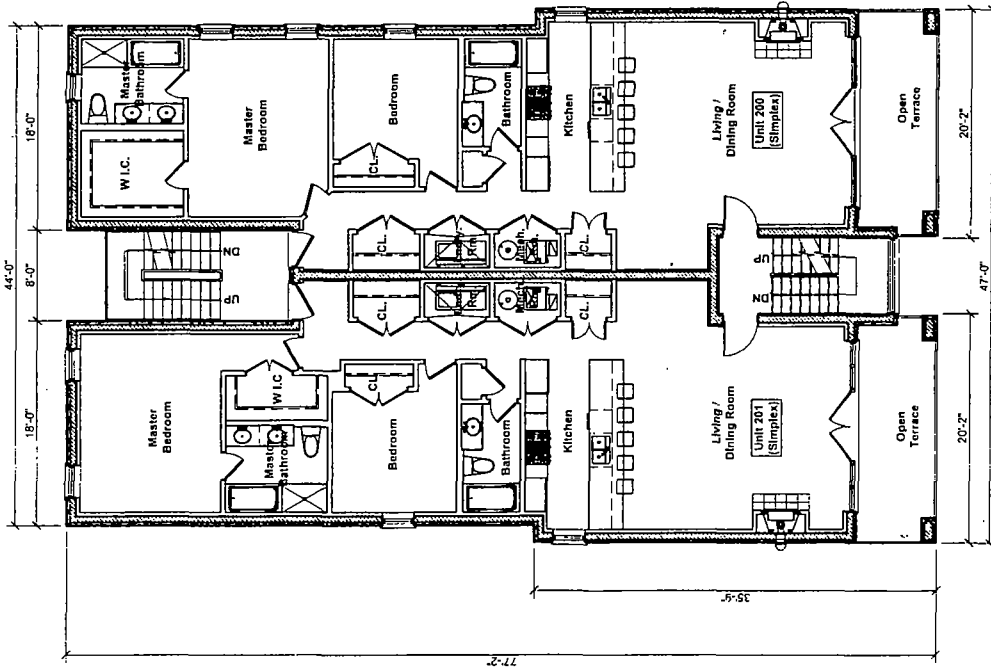
188 N. WELLS
CHICAGO, ILLINOIS 60601
PH: 312.750.1733
FAX: 312.750.1335

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ARCHITECTS

JANUARY 08, 2018

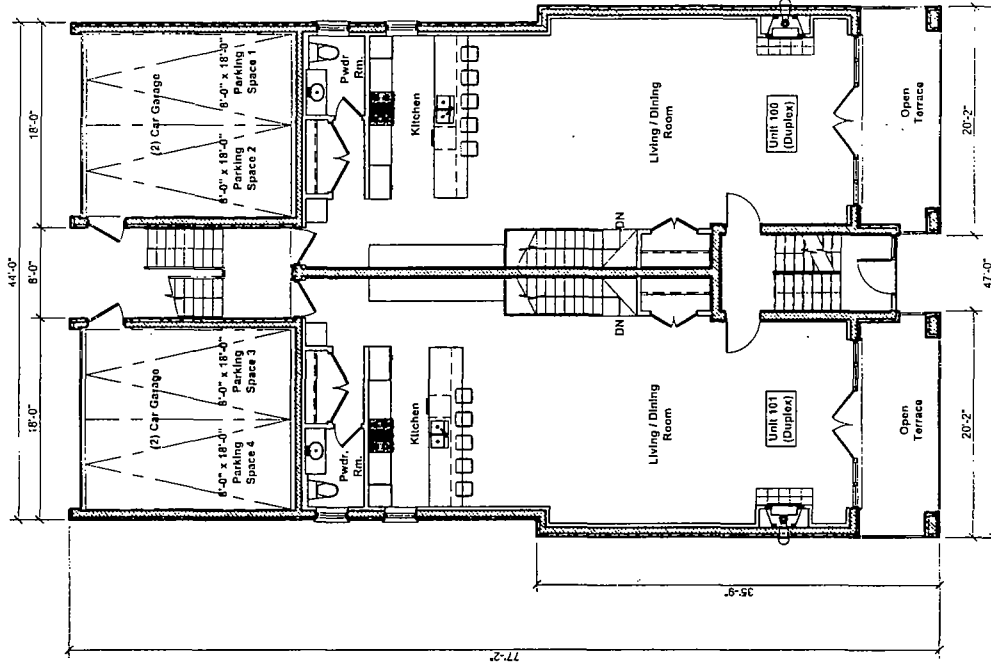
3309 W. Montrose
CHICAGO, ILLINOIS 60618

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Second Floor Plan

Scale: 1/8" = 1'-0"

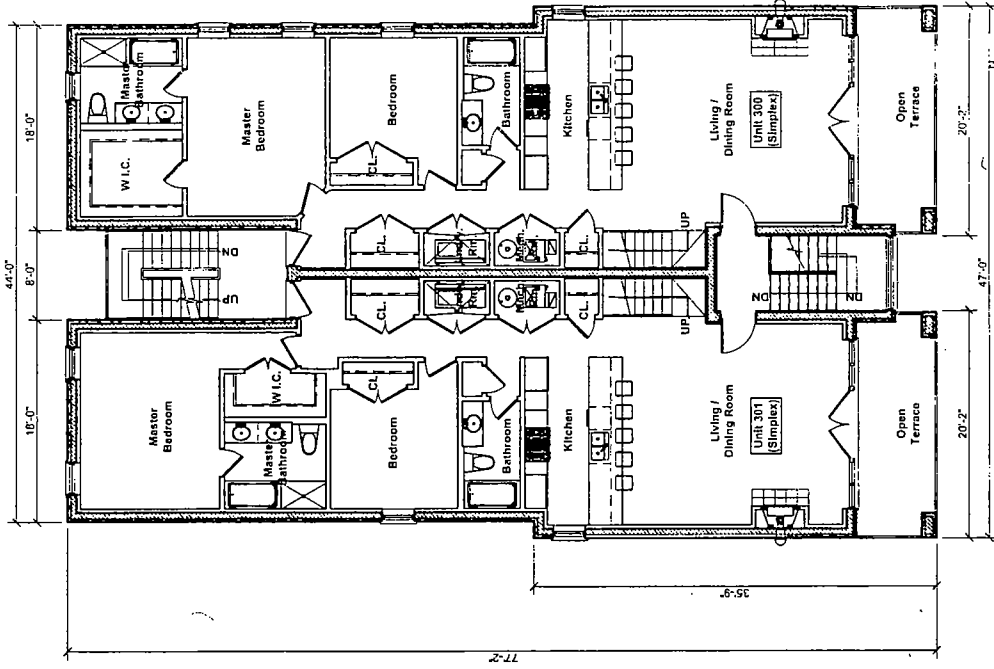


First Floor Plan

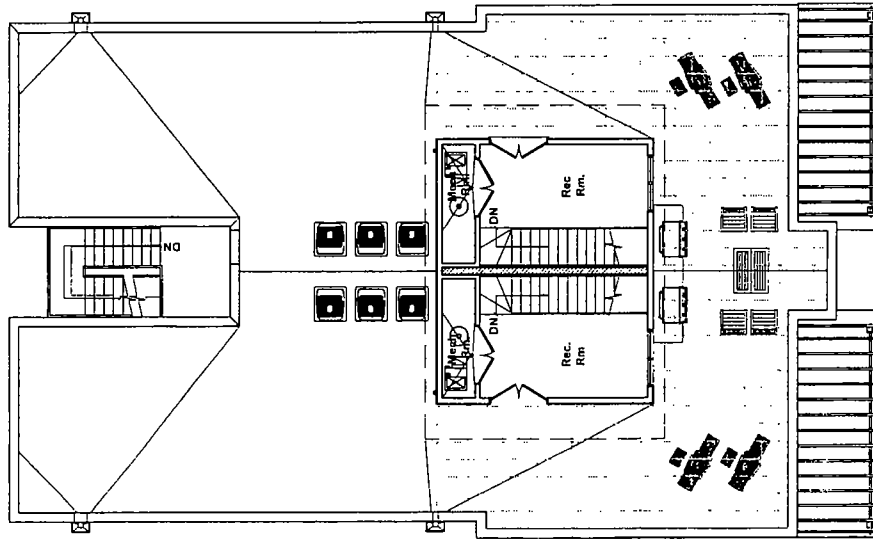
Scale: 1/8" = 1'-0"



FINAL FOR PUBLICATION



Third Floor Plan
Scale: 1/8" = 1'-0"



Roof Plan
Scale: 1/8" = 1'-0"



X I O S ARCHITECTS & CONSULTANTS

188 W. WELLS
CHICAGO, ILLINOIS 60608
PH: 312.758.1333
FAX: 312.758.1315

JANUARY 08, 2018

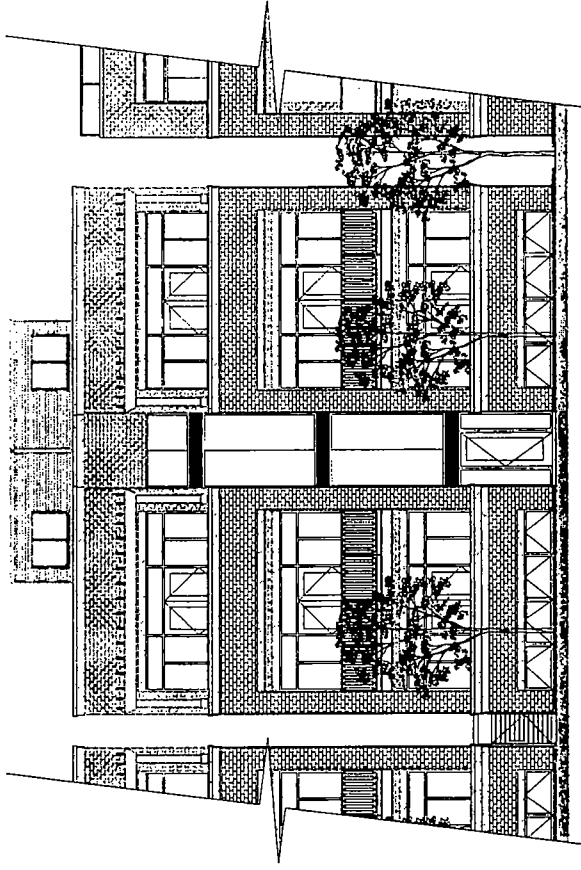
3009 W. Montrose
CHICAGO, ILLINOIS 60616

noah
D.F.C.O.S.T.P.A.

1358 W. Walton St.

Chicago

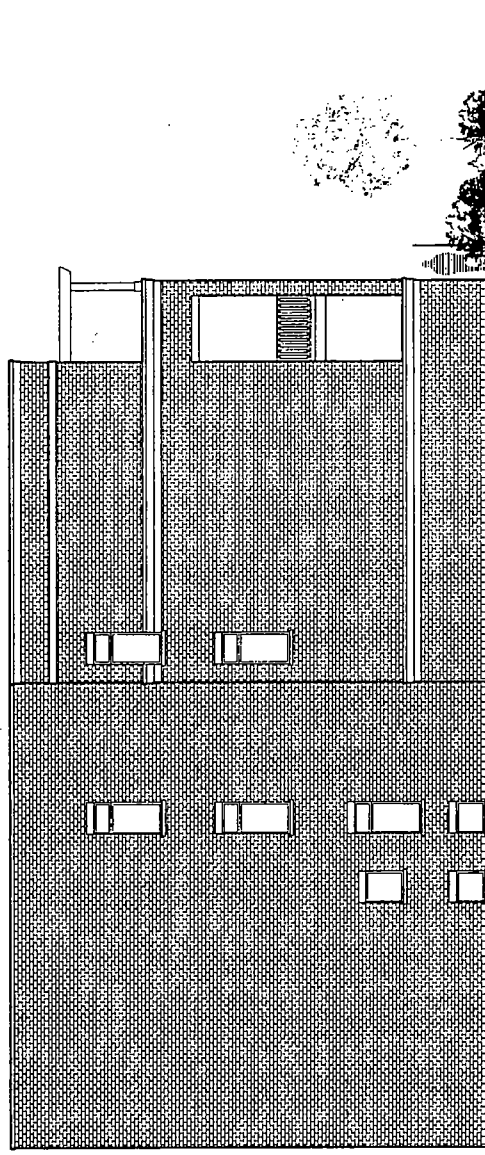
- BTI/ Penhouse Roof Truss
EL +46'-6"
- T/ Roof / Penhouse
EL +38'-6"
- BTI/ Roof Truss
EL +37'-2"
- T/ Third Floor
EL +27'-2"
- T/ Second Floor
EL +15'-10"
- T/ First Floor
EL +4'-6"
- T/ Grade
EL +0'-0"



South Elevation

Scale: 1/8" = 1'-0"

- BTI/ Penhouse Roof Truss
EL +46'-6"
- T/ Roof / Penhouse
EL +38'-6"
- BTI/ Roof Truss
EL +37'-2"
- T/ Third Floor
EL +27'-2"
- T/ Second Floor
EL +15'-10"
- T/ First Floor
EL +4'-6"
- T/ Grade
EL +0'-0"



West Elevation

Scale: 1/8" = 1'-0"

Illinois

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X I O S ARCHITECTS & CONSULTANTS

144 N. 46th St.
 Suite 200
 Chicago, IL 60640
 PH: 312.766.1333
 FAX: 312.766.1334

noah
 ARCHITECTS

JANUARY 08, 2018

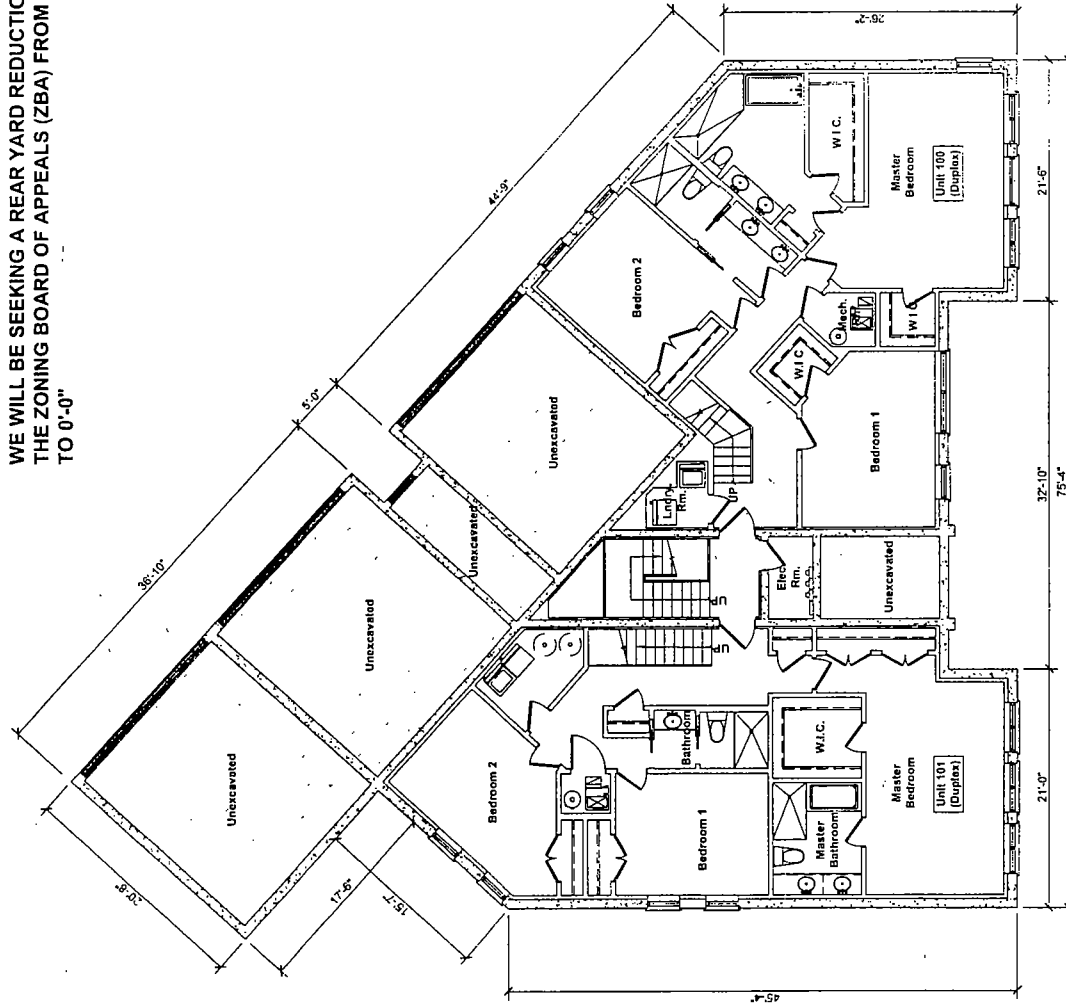
3609 W. Montrose
 Chicago Illinois 60618

FINAL FOR PUBLICATION

WE WILL BE SEEKING A REAR YARD REDUCTION
THE ZONING BOARD OF APPEALS (ZBA) FROM 30'-0"
TO 0'-0"

PROJECT DATA - 1356 N. Walton St.

Address:	1356 N Walton St
Lot dimensions:	See Site Plan
Lot area:	5,922 sq ft
Zoning district current:	RS-3
Propose Zoning district:	B2-3
Min lot area per dwelling unit:	400 sq ft per dwelling unit
Max. number of dwelling units:	5,922 / 400 = 14 Units
Proposed number of dwelling units:	6 Proposed Unit
Max allowable floor area:	5,922 sq ft x 3.0 (Max Ratio) = 17,766 sq.ft
Proposed Floor Area:	
First floor:	2,745 sq ft
Second floor:	3,475 sq ft
Third floor:	3,475 sq ft
Penhouse:	598 sq.ft
Total floor area:	10,293 sq ft
Building Height:	< 17,766 sq ft (1.73 FAR Actual)
Maximum Building Height:	60'-0"
Proposed Building Height:	46'-6"
Required Yards:	
Front yard setback (South):	0'-0"
Side yard setback (West):	0'-0"
Side yard setback (East):	0'-0"
Rear yard setback (North):	30'-0"
Proposed Yards:	
Front yard setback (South):	3'-1"
Side yard setback (West):	3'-0"
Side yard setback (East):	See Site Plan
Rear yard setback (North):	Exception
Off Street Parking:	
Required Parking:	6 Parking Spaces
Proposed Parking:	- 7 Parking Spaces



Basement Floor Plan
Scale: 1/8" = 1'-0"

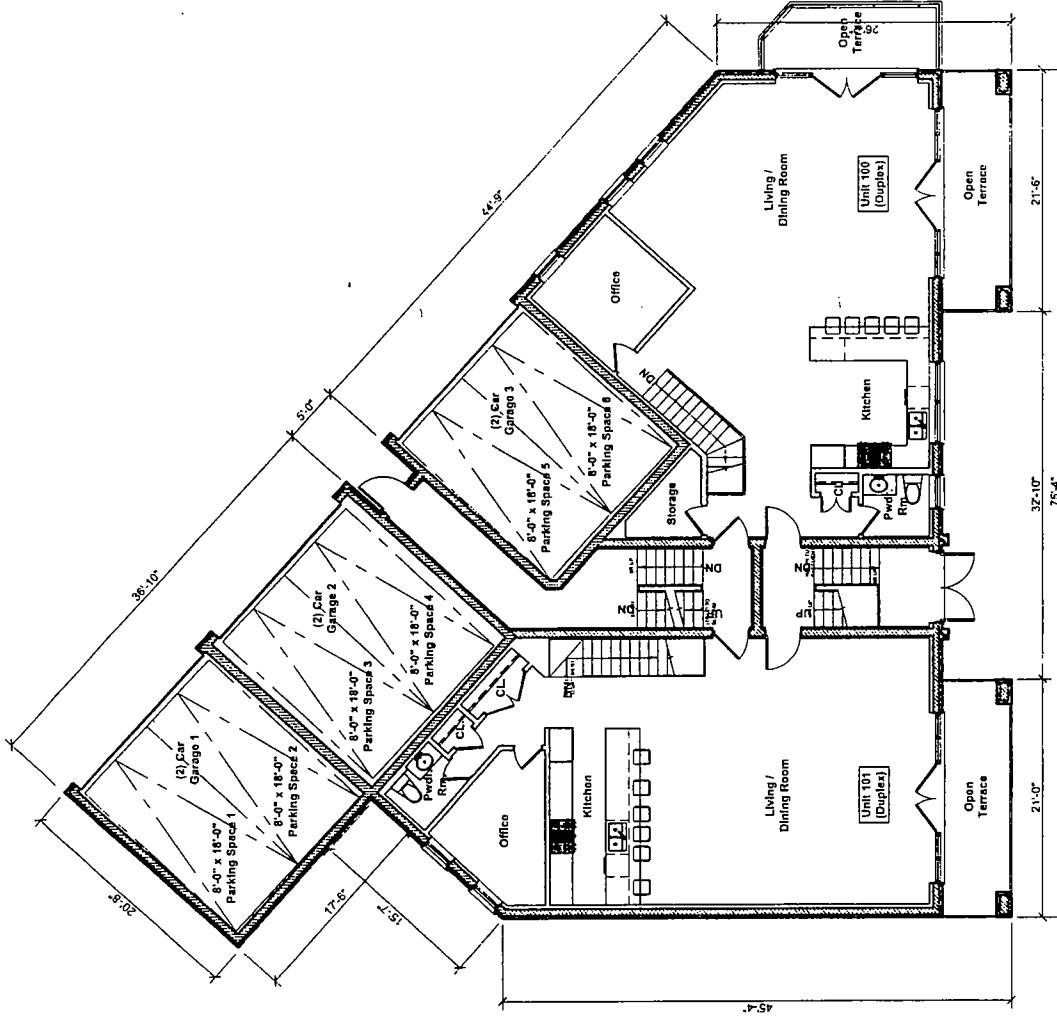


1356 W. Walton St.

Chicago

Illinois

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First Floor Plan

Scale: 1/8" = 1'-0"



X I O S ARCHITECTS & CONSULTANTS

188 N. WELLS
CHICAGO, ILLINOIS 60610
PH: 312.756.1333
FAX: 312.745.1335

noah

3009 W. Montrose
CHICAGO, ILLINOIS 60616

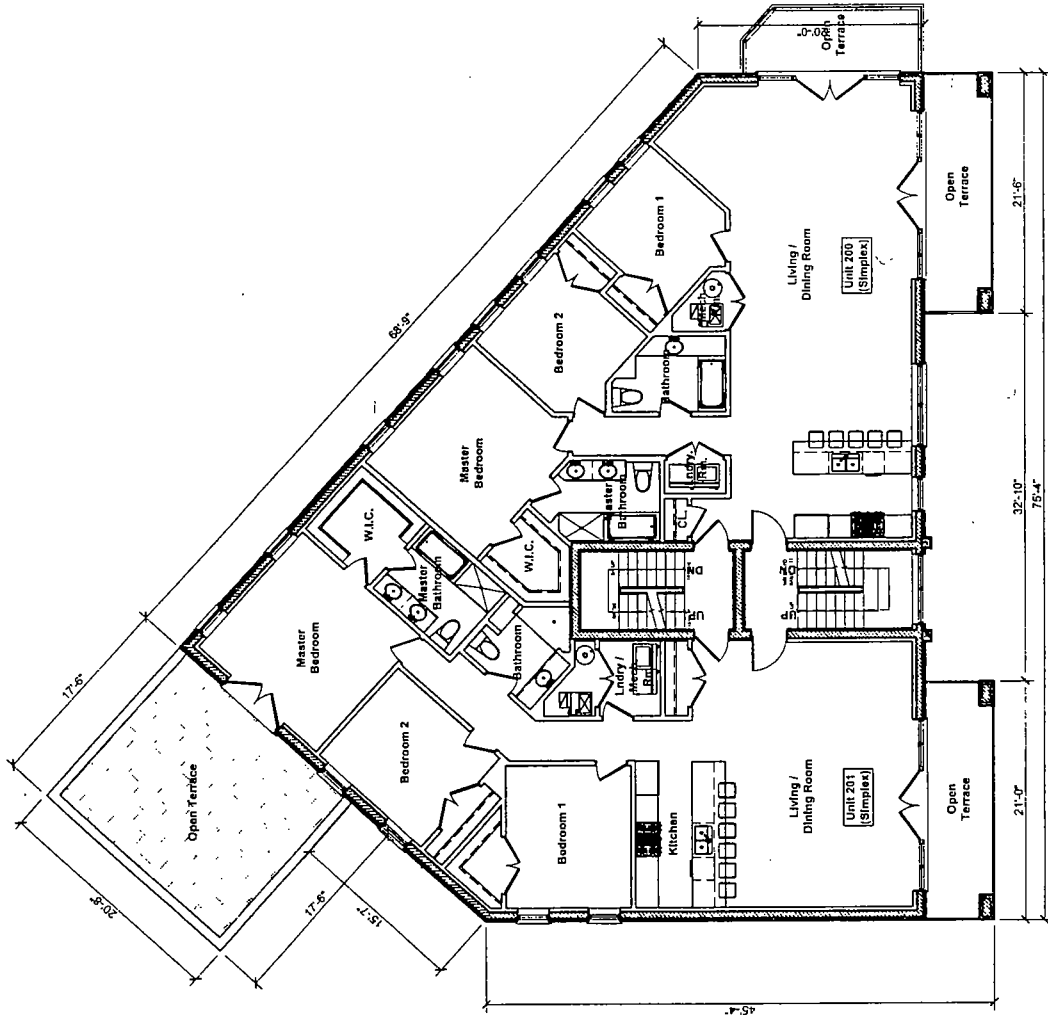
JANUARY 08, 2018

1356 W. Walton St.

Chicago

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Second Floor Plan

Scale: 1/8" = 1'-0"



X I O S ARCHITECTS & CONSULTANTS

185 N. WELLS
CHICAGO, ILLINOIS 60604 FAX: 312.740.1333
PH: 312.758.1332

noah
DESIGN

JANUARY 08, 2018

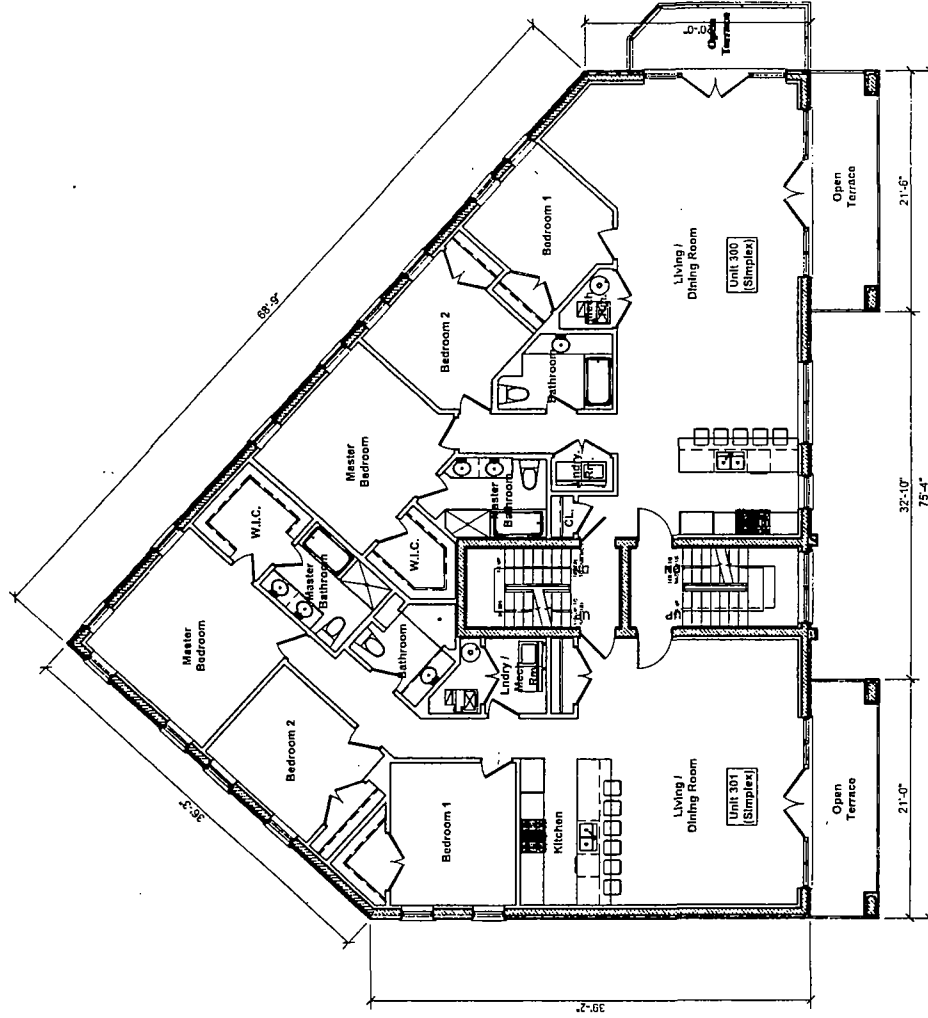
3009 W. MONROE
CHICAGO ILLINOIS 60618

1356 W. Walton St.

Chicago

Illinois

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Third Floor Plan

Scale: 1/8" = 1'-0"



X I O S ARCHITECTS & CONSULTANTS

118 N. WELLS
CHICAGO ILLINOIS 60606 FAX: 312.756.1333

JANUARY 08, 2015

3009 W. Montross
CHICAGO ILLINOIS 60618

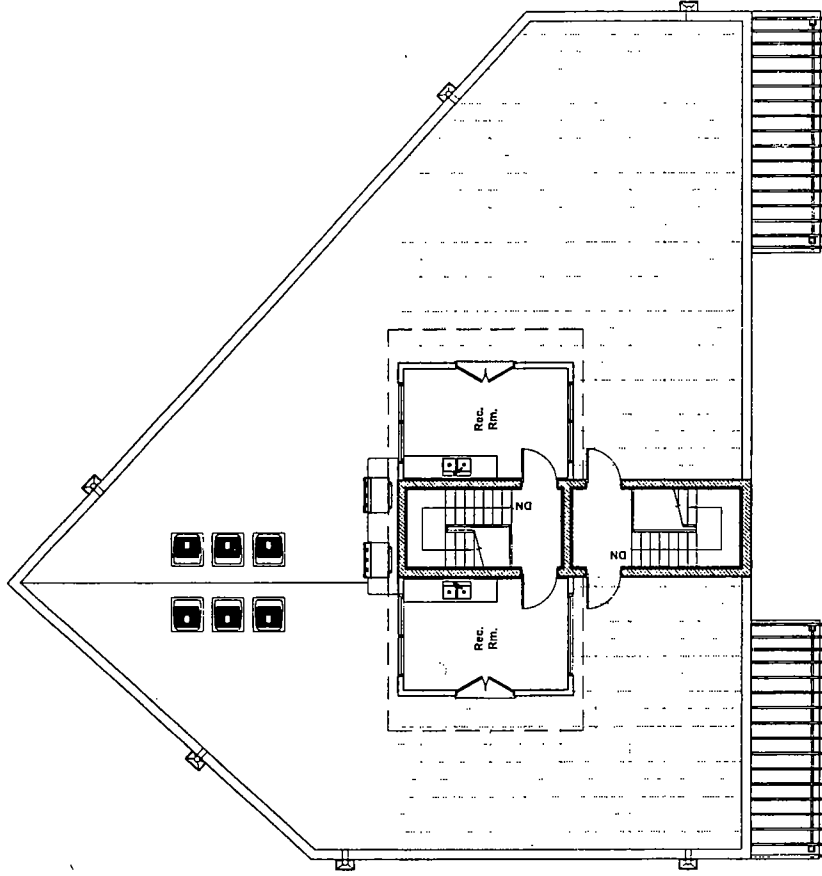
nooh
DESIGN

1356 W. Walton St.

Chicago

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Roof Plan

Scale: 1/8" = 1'-0"



X I O S ARCHITECTS & CONSULTANTS

148 W. PULASKI
 CHICAGO, ILLINOIS 60605
 PH: 312.758.1323
 FAX: 312.758.1334

noah
 ARCHITECTS
 P.C.

JANUARY 08, 2018
 3009 W. MADISON
 CHICAGO, ILLINOIS 60618

Chicago

BTI/Penthouse Roof Truss
EL. +46'-5"

T/ Roof / Penthouse
EL. +38'-0"

BTI/ Roof Truss
EL. +37'-2"

T/ Third Floor
EL. +27'-2"

T/ Second Floor
EL. +15'-10"

T/ First Floor
EL. +4'-2"

T/ Grade
EL. +0'-0"

BTI/Penthouse Roof Truss
EL. +46'-6"

T/ Roof / Penthouse
EL. +38'-6"

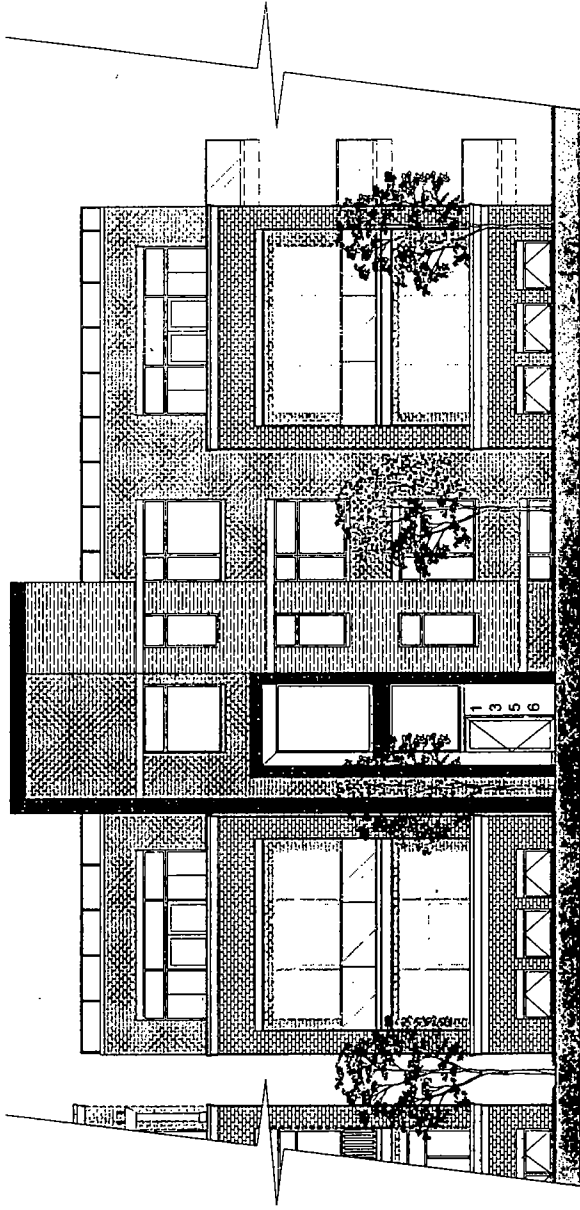
BTI/ Roof Truss
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T/ Third Floor
EL. +27'-2"

T/ Second Floor
EL. +15'-11"

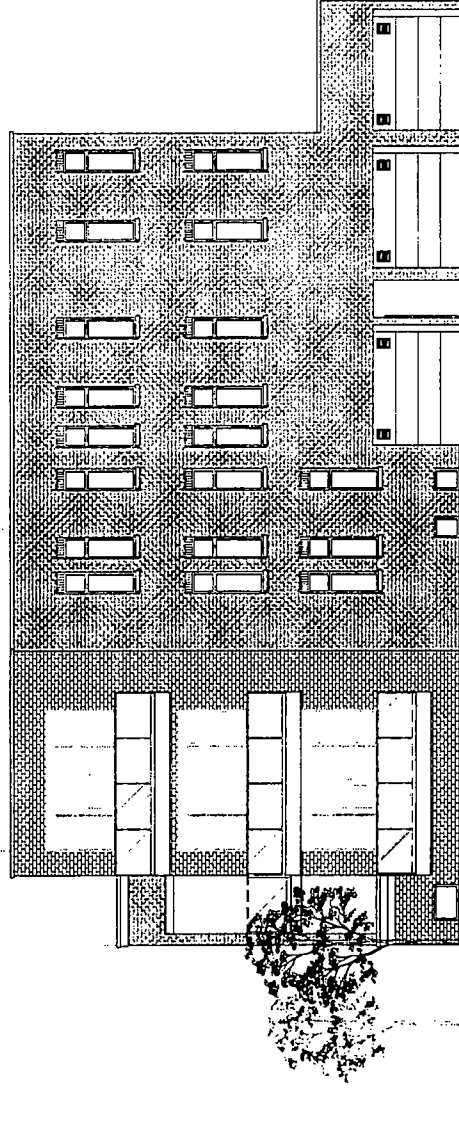
T/ First Floor
EL. +4'-0"

T/ Grade
EL. +0'-0"



South Elevation

Scale: 1/8" = 1'-0"



East Elevation

Scale: 1/8" = 1'-0"



X I O S ARCHITECTS & CONSULTANTS

110 N. WELLS
CHICAGO, ILLINOIS 60606 PH. 312.550.1333
FAX. 312.740.1151

noah architects

JANUARY 08, 2016

3009 W. Montrose
CHICAGO, ILLINOIS 60618