



City of Chicago



O2018-2294

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	3/28/2018
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 7-G at 3045 N Ashland Ave - App No. 19575T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B3-2 Community Shopping District symbols and indications as shown on Map No. 7-G in the area bounded by

a line 120 feet north of and parallel to West Nelson Street; the alley next east of and parallel to North Ashland Avenue; a line 96 feet north of and parallel to West Nelson Street; and North Ashland Avenue

to those of a B2-3 Neighborhood Mixed-Use District

SECTION 2. This ordinance takes effect after its passage and approval.

Address of property 3045 N. Ashland

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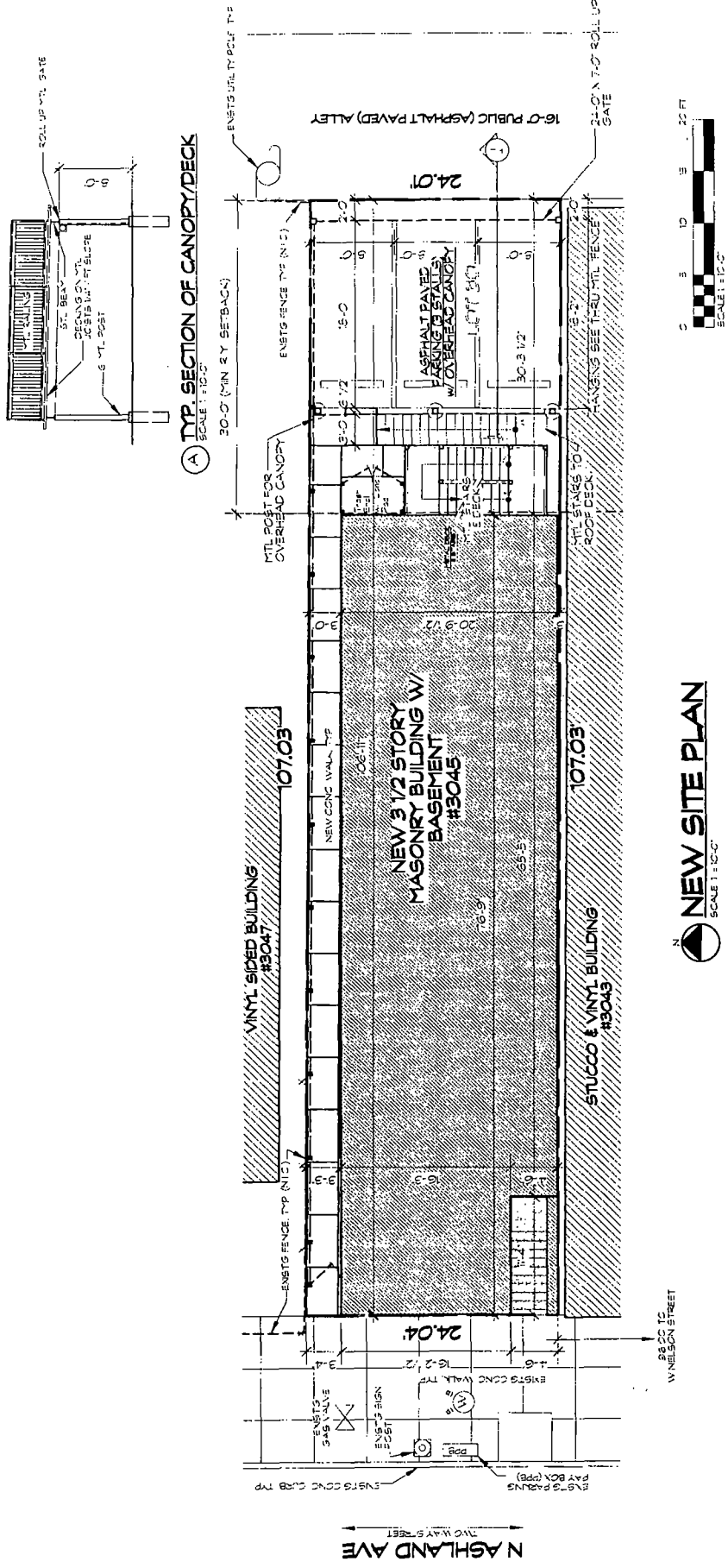
Type 1 Zoning Amendment
Address 3045 N. Ashland Avenue

Narrative

Project: The applicant intends to use the subject property to build 3 dwelling units in a 3 ½ story building with a basement and roof deck, with 3 parking spaces at the rear beneath a carport and a deck with a trellis on top of carport, accessed by metal stairs from grade. The basement and first floor unit will be duplexed, the second and third floor units will be simplexed. The lot is 24.00 feet by 107.04 feet or 2568.96 square feet.

Zoning:	from B3-2 to B2-3
Lot area:	2568.96 square feet
Min Lot Area/Dwelling unit:	400 (proposed)
F.A.R:	3.0 (proposed)
Building area:	5769 square feet, 4251 toward FAR (1518 square feet basement)
Setbacks:	front (West) zero side (North) three feet rear (East) thirty feet side (South) zero
Building Height:	38'5" feet 48' 9.5" at top of roof access stairwell
Off street parking:	3 spaces in carport
Off street loading:	n/a

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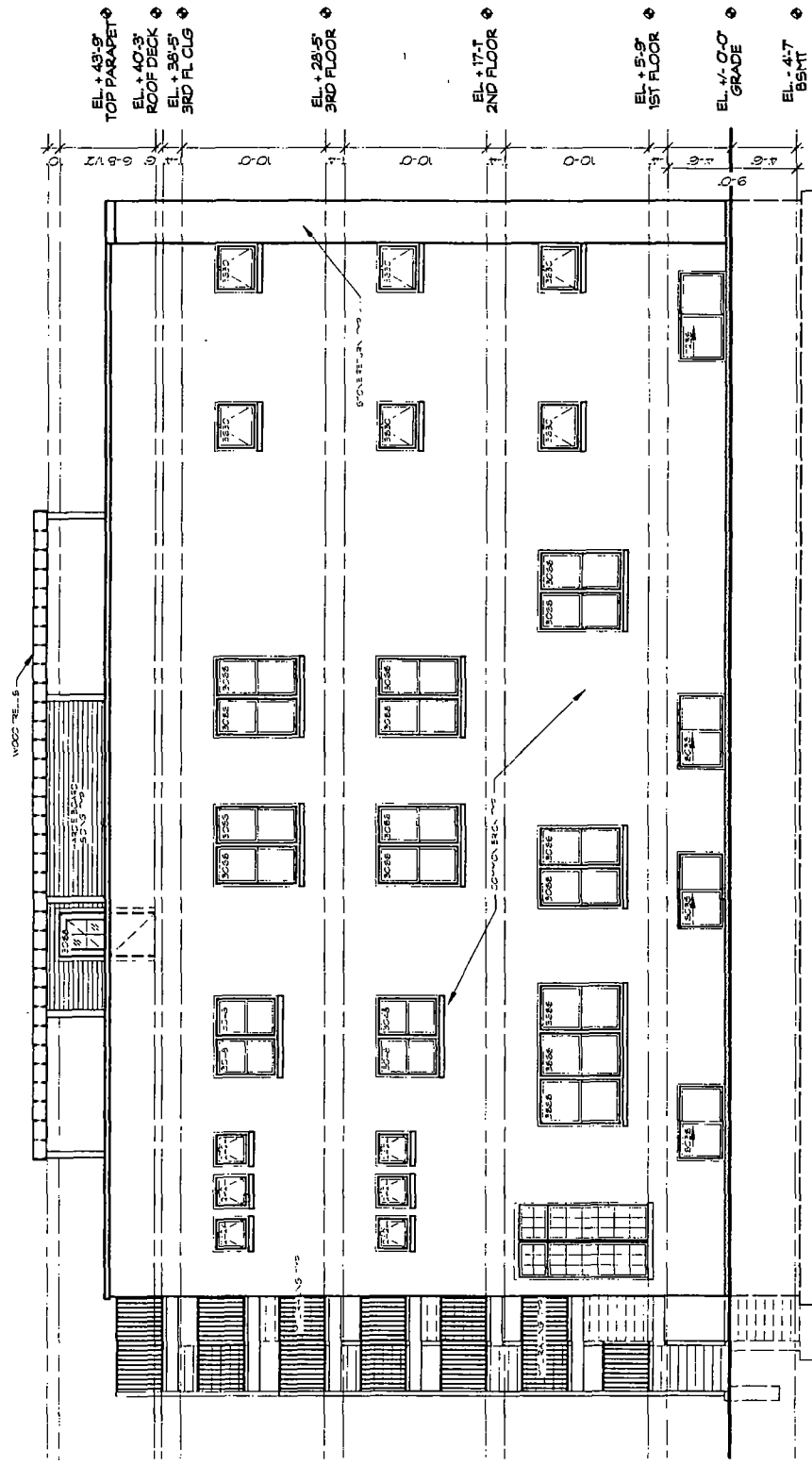
NEW BUILDING AREAS:	
BASMENT	1,241 SF
1ST FLOOR	1,250 SF
2ND FLOOR	1,250 SF
3RD FLOOR	1,250 SF
TOTAL:	4,778 TOWARDS FAR
	6,317 SF TOTAL BUILD

LASZLO SIMOVIC, ARCHITECTS, L.L.C.
 8512 N. ARTESIAN AVE.
 CHICAGO, IL 60645-5326
 EMAIL: LASZLO@LASZLOARCH.COM
 FAX: 773-338-2226 TEL: 773-338-2225

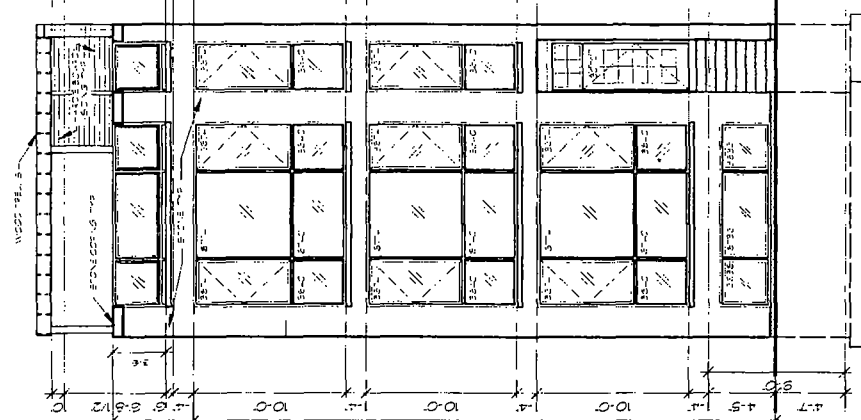
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NORTH ELEVATION
SCALE 1/8" = 1'-0"



WEST ELEVATION
SCALE 1/8" = 1'-0"



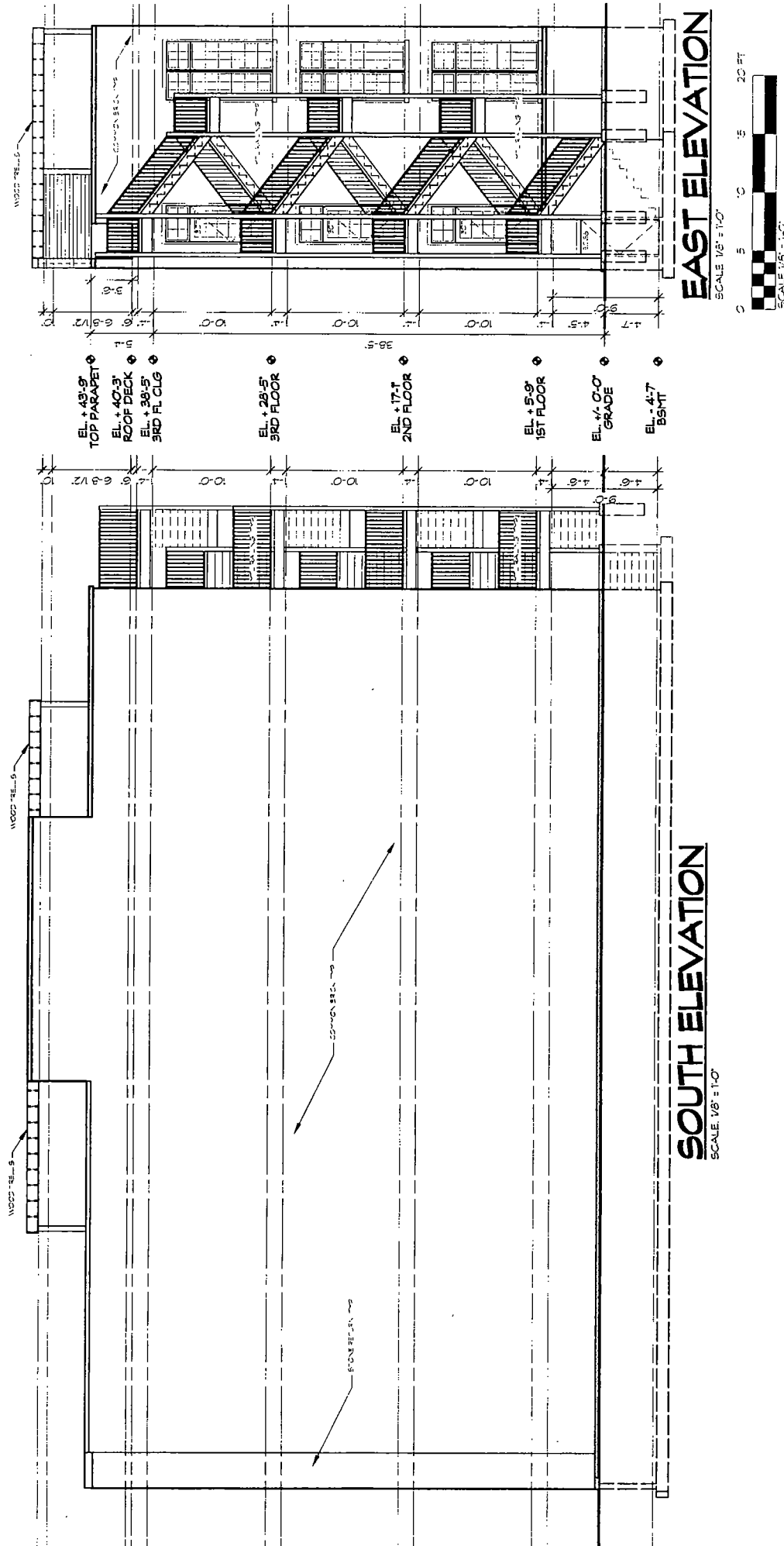
LASZLO SIMOVIC, ARCHITECTS, L.L.C.
652 N. ARTESIAN AVE.
CHICAGO, IL 60645-5328
EMAIL: LASZLO@LASZLOARCH.COM
FAX: 773-336-2226 TEL: 773-336-2225

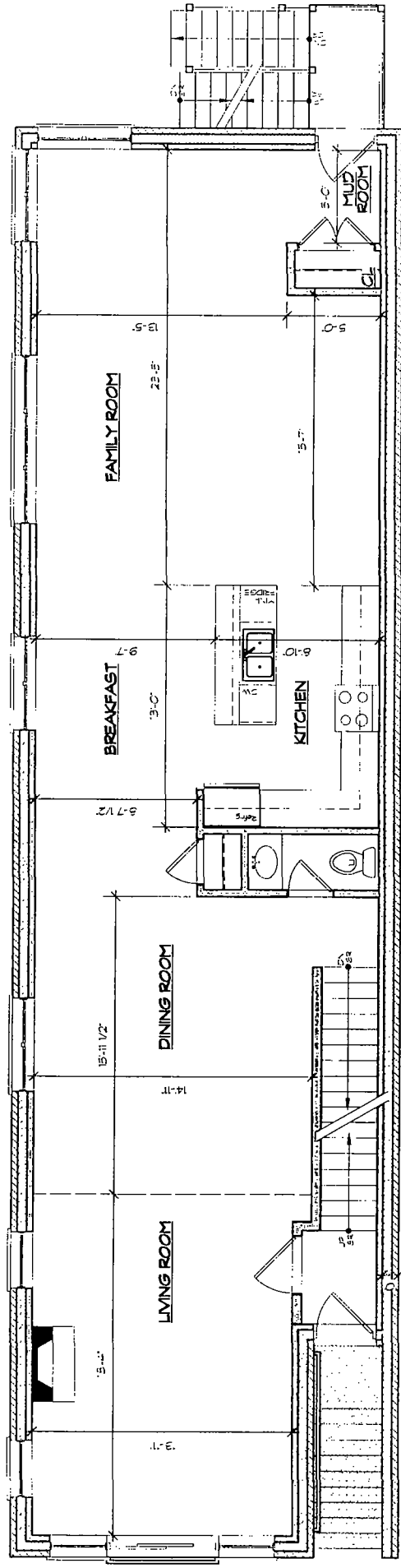
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1ST FLOOR PLAN

SCALE 3/16" = 1'-0"
1541 SF

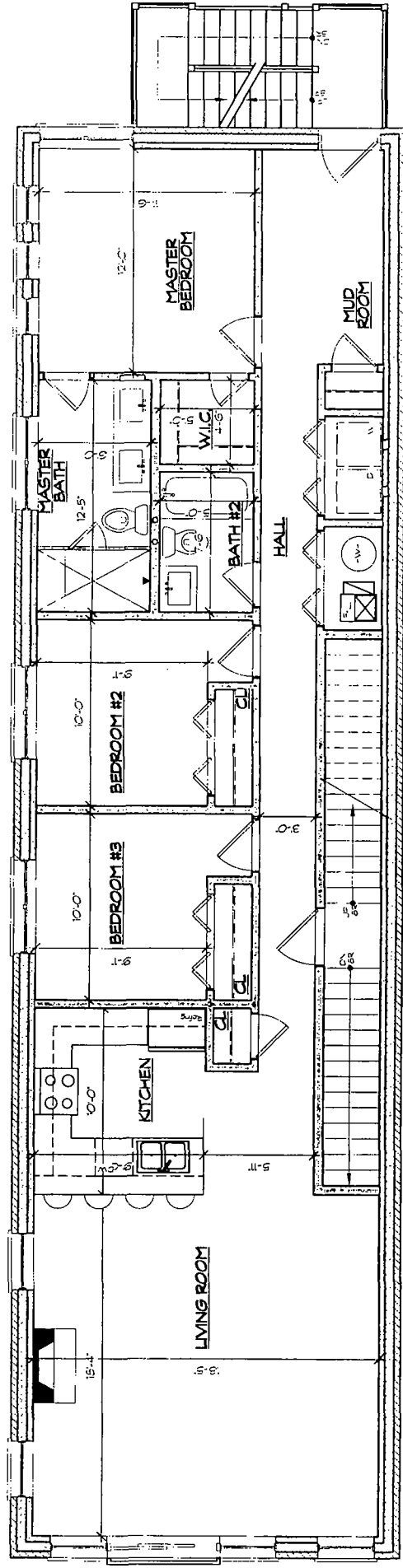


LASZLO SIMOVIC, ARCHITECTS, L.L.C.
650 N. ARTESIAN AVE.
CHICAGO, IL 60645-5328
E-MAIL: LASZLO@LASZLOARCH.COM
FAX: 773-338-2226 TEL: 773-338-2225

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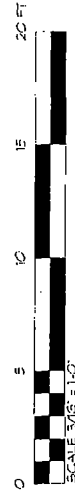
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2ND FLOOR PLAN



SCALE 3/16" = 1'-0"
1592 SF

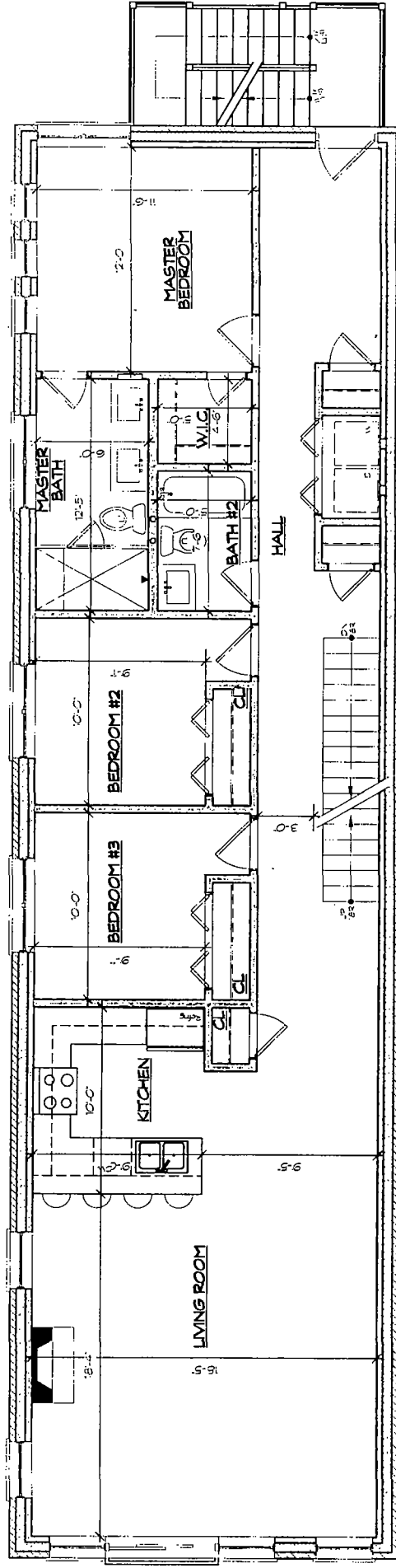


LASZLO SIMOVIC, ARCHITECTS, L.L.C.
6512 N. ARTESIAN AVE.
CHICAGO, IL 60645-3328
E-MAIL: LASZLO@LASZLOARCH.COM
FAX: 773-336-2226 TEL: 773-336-2225

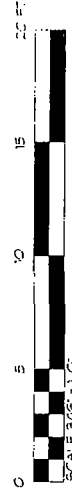
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3RD FLOOR PLAN
 SCALE 3/8" = 1'-0"
 1582 SF

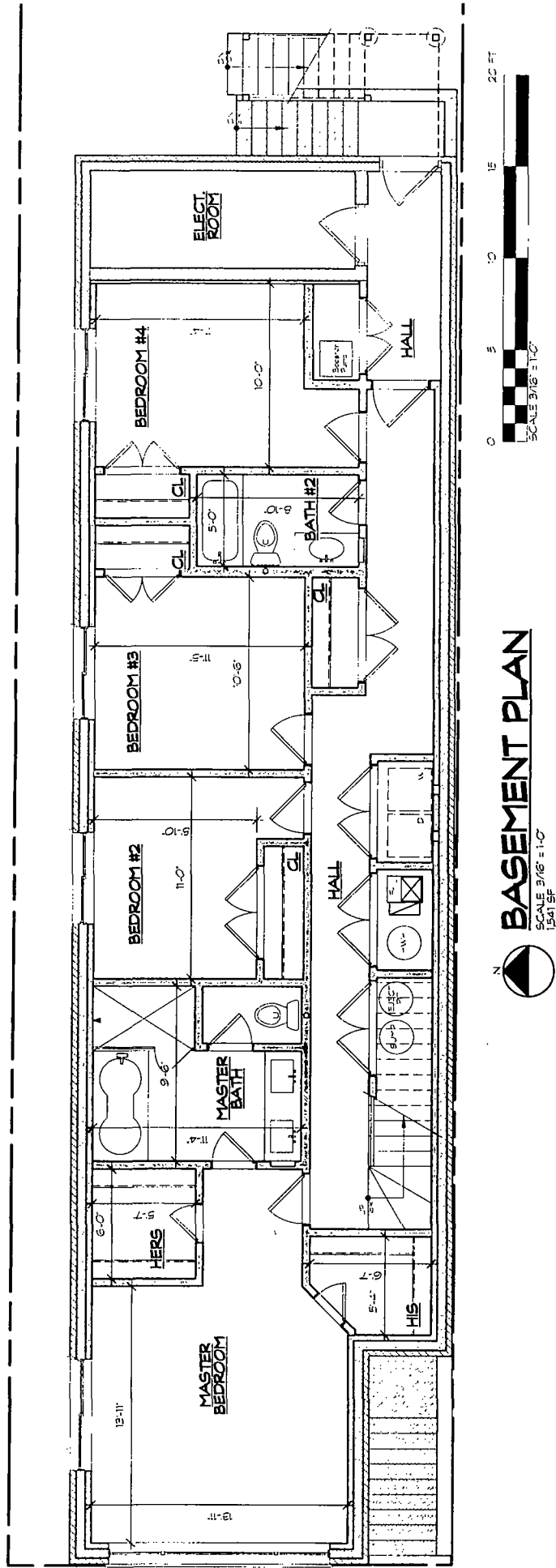


LASZLO SIMOVIC, ARCHITECTS, L.L.C.
 6512 N. ARTESIAN AVE.
 CHICAGO, IL 60645-5325
 E-MAIL: LASZLO@LASZLOARCH.COM
 FAX: 773-338-2226 TEL: 773-338-2225

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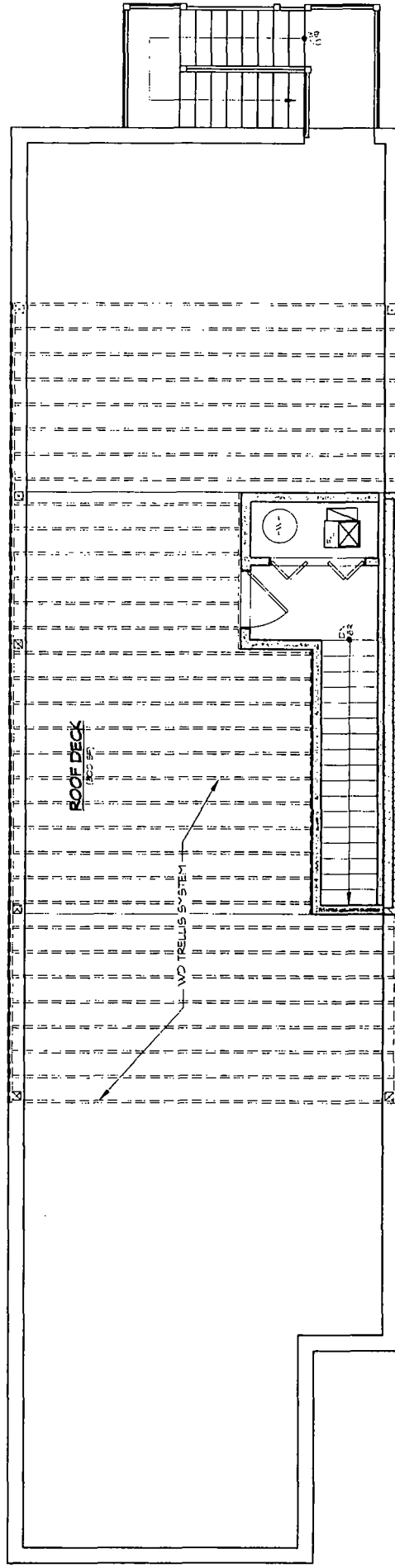


LASZLO SIMOVIC, ARCHITECTS, L.L.C.
 6512 N. ARTESIAN AVE.
 CHICAGO, IL 60645-3328
 EMAIL: LASZLO@LASZLOARCH.COM
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ROOF PLAN
SCALE 3/8" = 1'-0"



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6512 N. ARTESIAN AVE.
CHICAGO, IL 60645-5328
EMAIL: LASZLO@LASZLOARCH.COM
FAX: 773-396-2226 TEL: 773-396-2225

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