



# City of Chicago



O2018-2445

Office of the City Clerk

## Document Tracking Sheet

<b>Meeting Date:</b>	3/28/2018
<b>Sponsor(s):</b>	Misc. Transmittal
<b>Type:</b>	Ordinance
<b>Title:</b>	Zoning Reclassification Map No. 11-5 at 3701 W Montrose Ave - App No. 19605T1
<b>Committee(s) Assignment:</b>	Committee on Zoning, Landmarks and Building Standards

## ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B3-1 Community Shopping District symbols and indications as shown on Map No. 11-5 in the area bounded by

WEST MONTROSE AVENUE; NORTH LAWNSDALE AVENUE; THE ALLEY SOUTH OF AND PARALLEL TO WEST MONTROSE; A LINE 33.43 FEET WEST OF NORTH LAWNSDALE AVENUE

to those of a B3-2 Community Shopping District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

FINAL FOR PUBLICATION

            
Common Address of Property:

3701 W. MONTROSE, CHICAGO, IL 60618

**NARRATIVE AND PLANS  
FOR THE PROPOSED REZONING  
AT  
3701 W. MONTROSE AVENUE**

The Application is to change zoning for 3701 W. Montrose Avenue from B3-1 Community Shopping District to B3-2 Community Shopping District. The Applicant intends to add a third story addition to the 2 ½ story existing multi-unit building. The Applicant will convert the top level of the building into a second dwelling unit. The existing footprint of the building will not change. The new building height shall be 34 feet 0 inches.

**LOT AREA:** 4,125 SQUARE FEET

**FLOOR AREA RATIO:** 1.2

**BUILDING AREA:** 3,783 SQUARE FEET

**DENSITY, per DWELLING UNIT:**

**AS EXISTING OFF-STREET PARKING:** THREE PARKING SPACES IN THE REAR OF THE BUILDING

**AS EXISTING FRONT SETBACK:** 0 FEET

**AS EXISTING REAR SETBACK:** 53.7 FEET (From the new proposed back porch)

**AS EXISTING SIDE SETBACK:** 0 FEET (East)

**AS EXISTING REAR YARD OPEN SPACE:** 1675 SQUARE FEET

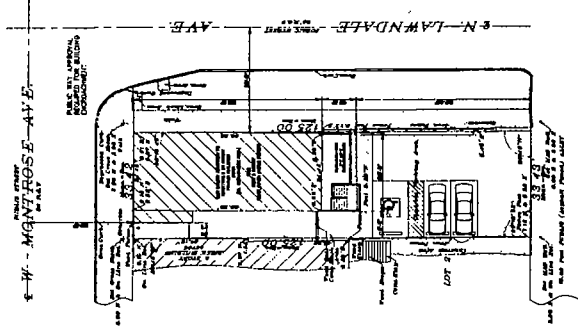
**BUILDING HEIGHT:** 34 FEET 0 INCHES

FINAL FOR PUBLICATION

**APARTMENT LEGALIZATION  
DAUF PROPERTIES**

**THIRD STORY ADDITION TO EXISTING 2-1/2 STORY FRAME MULTI-UNIT  
BUILDING AND NEW WOOD PORCH AT REAR OF BUILDING PER PLANS**

**3701 W. MONTROSE AVE.  
Chicago, Illinois 606**



**1 SITE PLAN**  
SCALE: 1/8" = 1'-0"

**Material Symbols**

CONCRETE	REINFORCED CONCRETE	BRICK	STUCCO	GLASS	STEEL
INSULATION	ROOFING	WOOD	ASPH/FLT	ALUMINUM	STEEL
...	...	...	...	...	...

**Applicable Building Codes**

BUILDING CODE	CHICAGO BUILDING CODE - 2000
ELECTRICAL CODE	CHICAGO ELECTRICAL CODE - 2000
MECHANICAL CODE	CHICAGO MECHANICAL CODE - 2000
PLUMBING CODE	CHICAGO PLUMBING CODE - 2000
...	...

**General Notes**

- ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE, CHICAGO ELECTRICAL CODE, CHICAGO MECHANICAL CODE, CHICAGO PLUMBING CODE, AND ALL APPLICABLE ORDINANCES.
- ...

**Building Requirements**

ITEM	DESCRIPTION	REQUIREMENT	REMARKS
1	MINIMUM HEIGHT	12	
2	MINIMUM AREA	1,000	
3	MINIMUM DISTANCE	5	
4	MINIMUM SETBACK	5	
5	MINIMUM LOT AREA	10,000	
6	MINIMUM LOT WIDTH	30	
7	MINIMUM LOT DEPTH	100	
8	MINIMUM LOT AREA PER UNIT	1,000	
9	MINIMUM LOT WIDTH PER UNIT	30	
10	MINIMUM LOT DEPTH PER UNIT	100	
11	MINIMUM LOT AREA PER UNIT	1,000	
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99	MINIMUM LOT WIDTH PER UNIT	30	
100	MINIMUM LOT DEPTH PER UNIT	100	

**General Demolition Notes**

- THE CONTRACTOR SHALL REMOVE ALL EXISTING WORK IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS, CODES AND ORDINANCES OF LOCAL, STATE AND FEDERAL AGENCIES.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING WORK IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS, CODES AND ORDINANCES OF LOCAL, STATE AND FEDERAL AGENCIES.
- ...

**Reference Symbols**

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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**Energy Code Compliance Statement**

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DATE: 01-15-2017

PROJECT: 3701 W. MONTROSE AVE. CHICAGO, ILL. 606

**Electrical Symbols**

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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**Abbreviations**

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**Drawing Index**

NO.	DRAWING TITLE
1	SITE PLAN
2	FLOOR PLAN
3	SECTION
4	...

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DATE: 01-15-2017

PROJECT: 3701 W. MONTROSE AVE. CHICAGO, ILL. 606

**Reference Symbols**

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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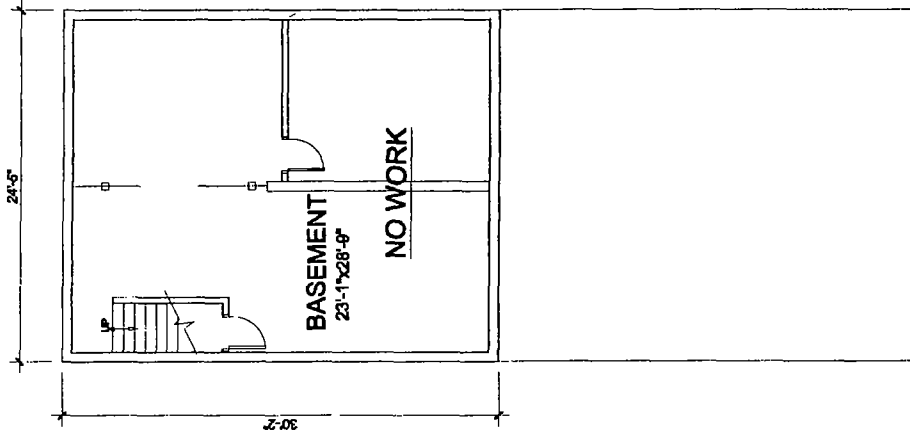
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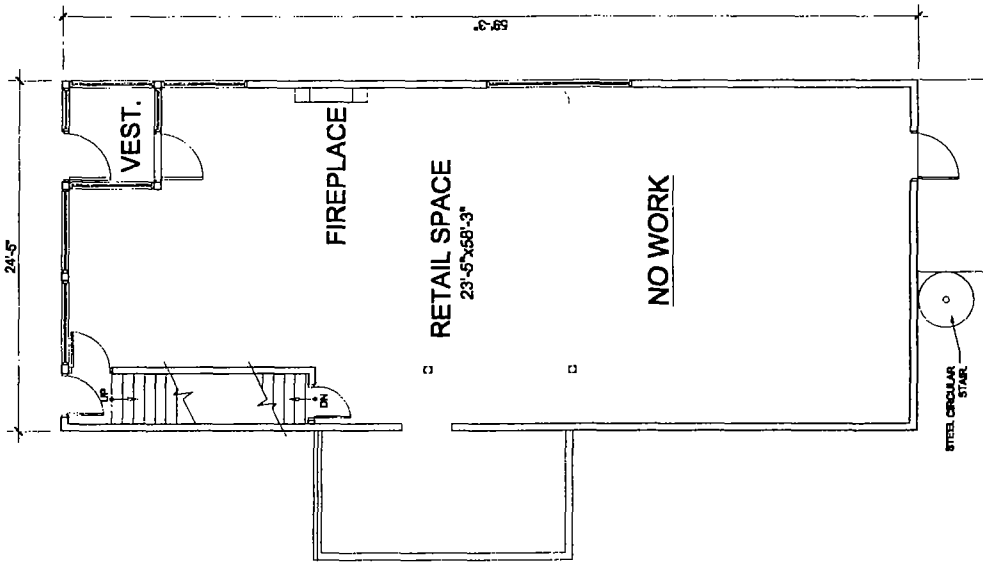
DATE: 01-15-2017

PROJECT: 3701 W. MONTROSE AVE. CHICAGO, ILL. 606

REVISIONS	
1.	ISSUED FOR PERMIT
2.	
3.	



**BASEMENT PLAN - EXIST**  
SCALE: 1/4" = 1'-0"



**FIRST FLOOR PLAN - EXIST**  
SCALE: 1/4" = 1'-0"



CONTENTS	
DEMO FLOOR PLANS AND NOTES	
NO.	DESCRIPTION
1	D-1.1

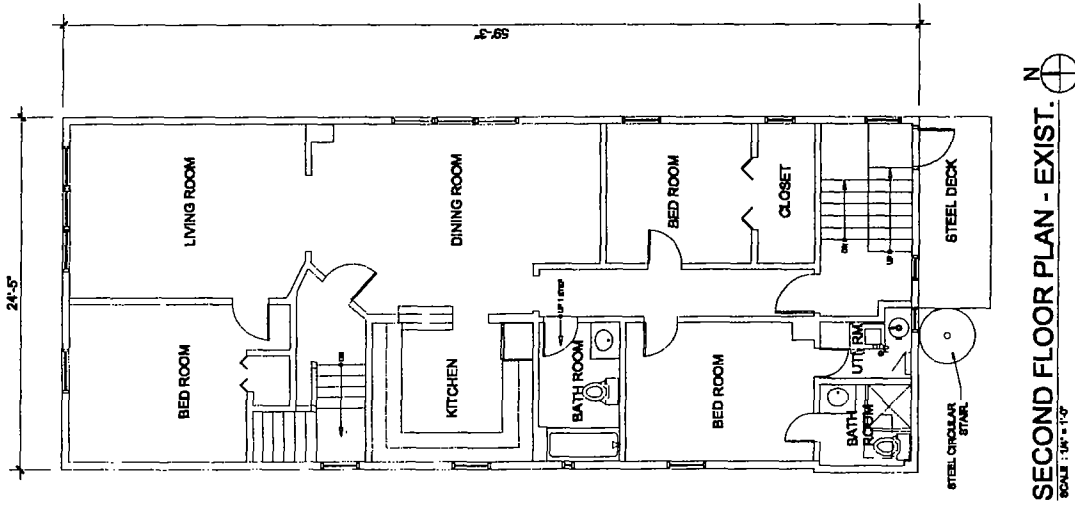
**DAUF**  
Designers: Brian Flannery, Construction Manager  
1322 WEST FAULKNER ST  
CHICAGO, ILLINOIS 60607  
TEL: 773-227-7533 FAX: 773-227-7533

**DAUF PROPERTIES INC.**  
LEGALIZING APARTMENT UNIT & WOOD PORCH ADDITION  
3701 W. MONTROSE AVE.  
CHICAGO, ILLINOIS 60608

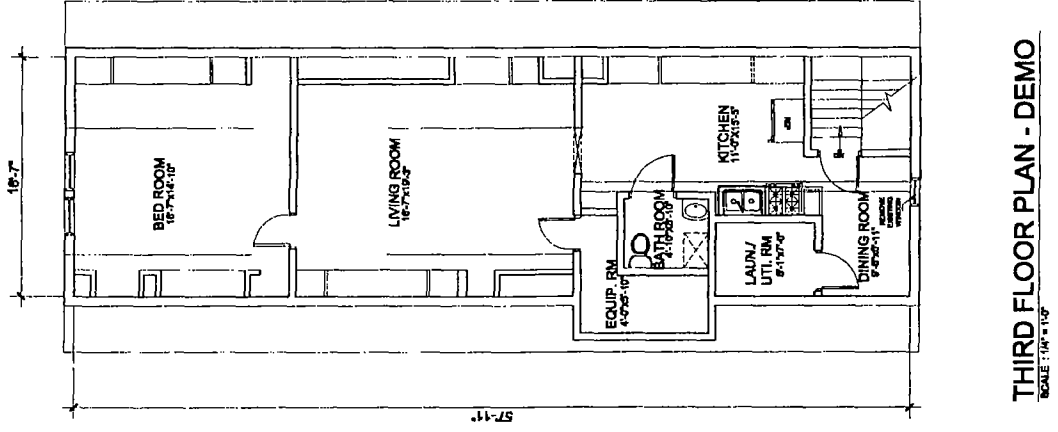
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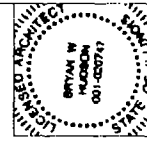
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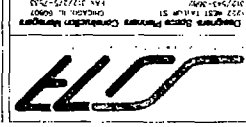
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SCALE: 1/8" = 1'-0"



**THIRD FLOOR PLAN - DEMO**  
SCALE: 1/8" = 1'-0"



CONTRACT FLOOR PLANS AND NOTES	
DATE	01/17/17
SCALE	AS SHOWN
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DESIGNER	DAUF PROPERTIES INC.
PROJECT NO.	D-1.2

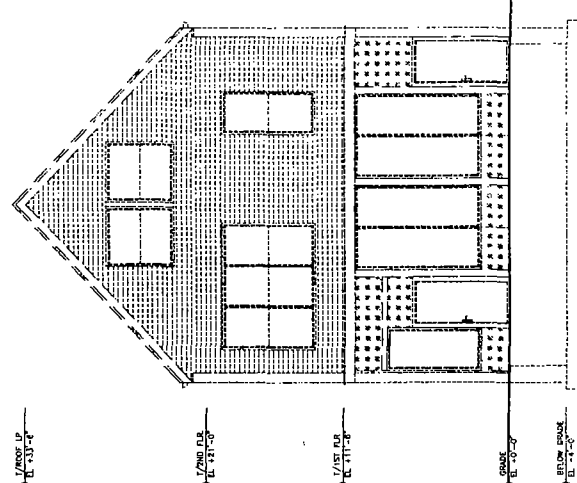
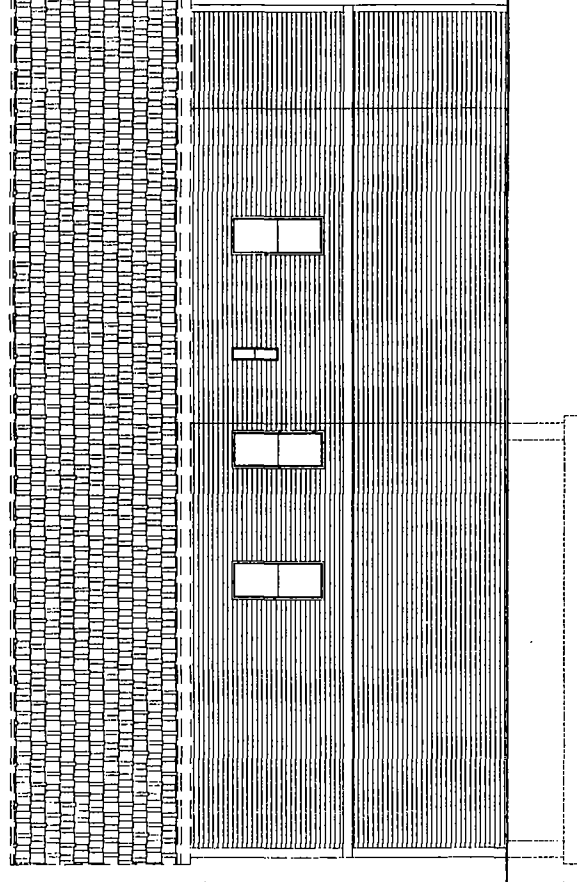
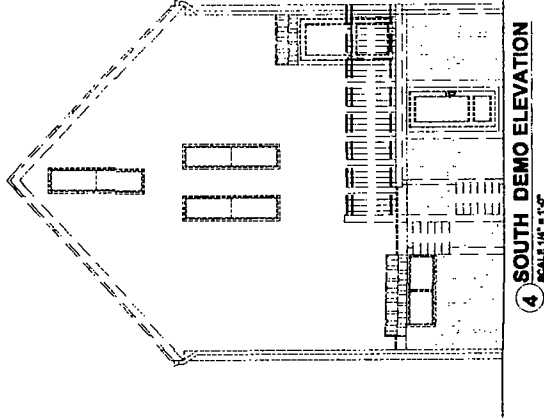
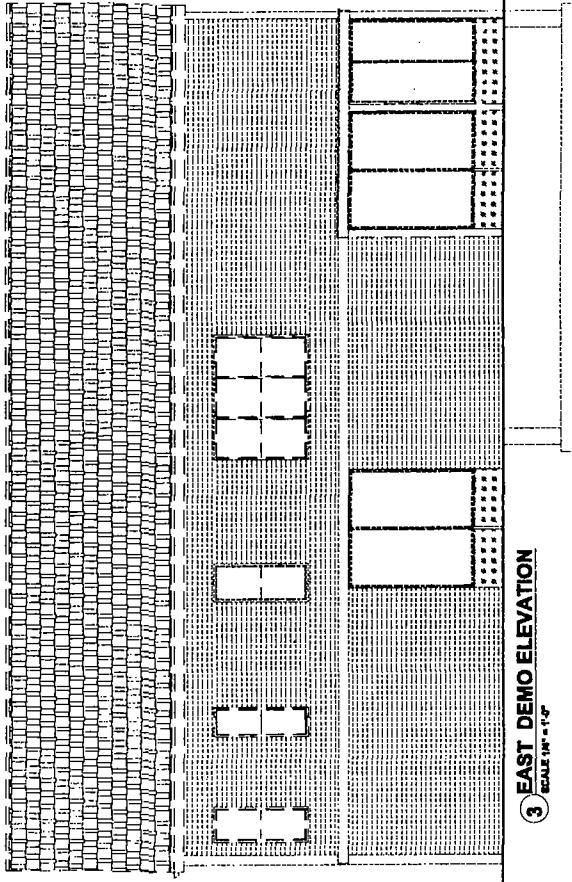


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LEGALIZING APARTMENT UNIT & WOOD PORCH ADDITION  
3701 W. MONTROSE AVE.  
CHICAGO, ILLINOIS 606

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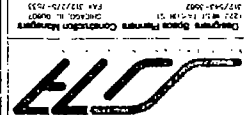
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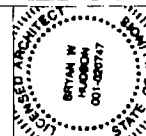


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DAUF PROPERTIES INC.  
LEGALIZING APARTMENT UNIT & WOOD  
PORCH ADDITION  
3701 W. MONTROSE AVE  
CHICAGO, ILLINOIS 60658



CORLETT'S  
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AND NOTES

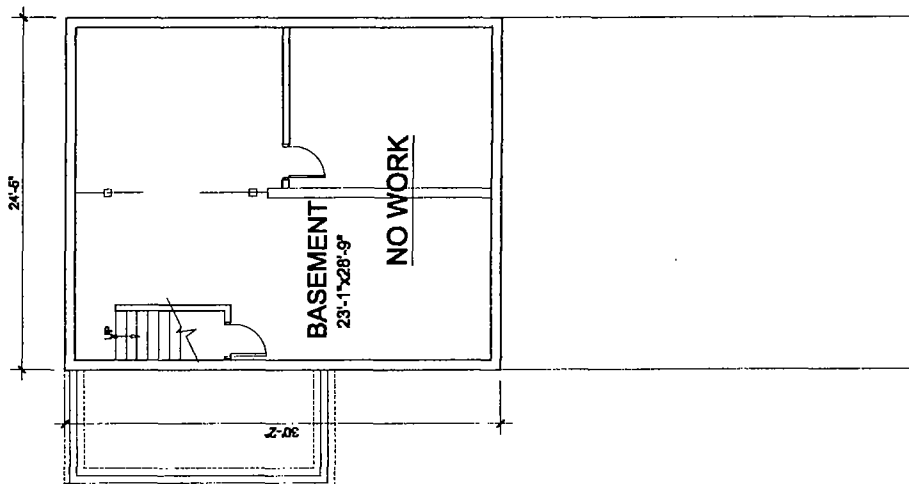


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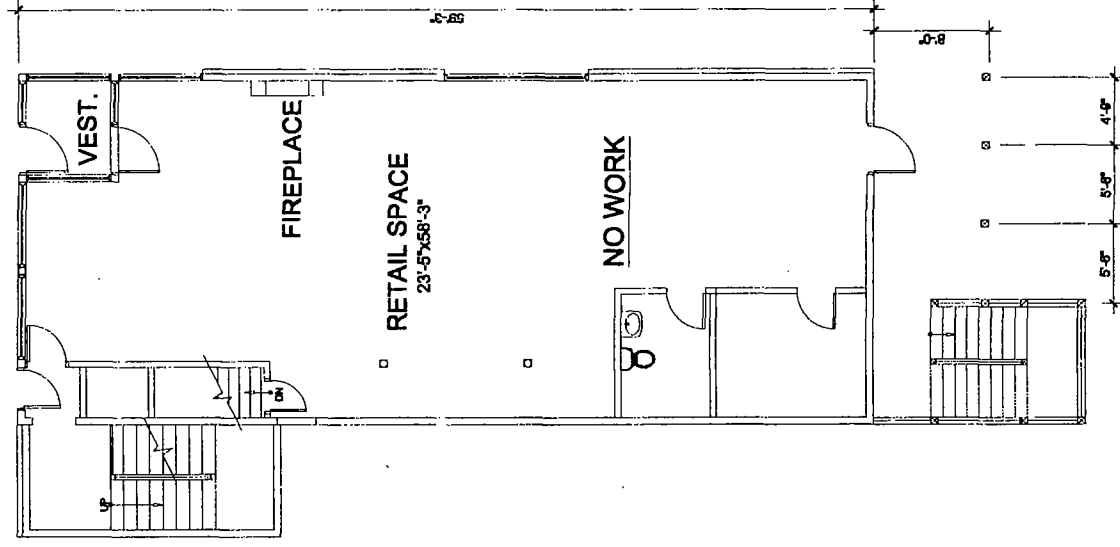
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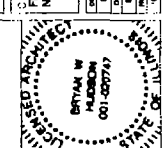
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**BASEMENT PLAN - EXIST**  
SCALE: 1/4" = 1'-0"



**GROUND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



CONLINE'S  
FLOOR PLANS AND  
NOTES

DATE:	DATE:	DATE:	DATE:
BY:	BY:	BY:	BY:
PROJECT NO.:	PROJECT NO.:	PROJECT NO.:	PROJECT NO.:
<b>A-1.1</b>			

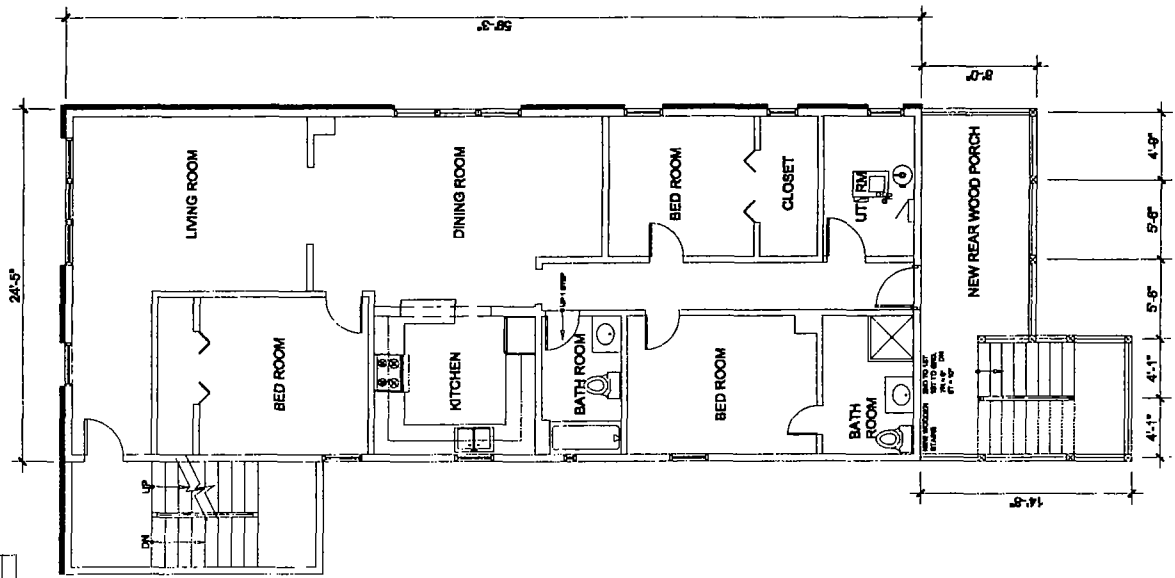
**DAUF PROPERTIES INC.**  
LEGALIZING APARTMENT UNIT & WOOD  
PORCH ADDITION  
3701 W. MONTROSE AVE  
CHICAGO, ILLINOIS 606

THE ABOVE DIMENSIONS AND SPECIFICATIONS ARE BASED ON THE RECORD AND REVISIONS SHEETS FOR THIS PROJECT. THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE RECORD SHEETS AND HAS FOUND THEM TO BE CORRECT. THE ARCHITECT HAS NOT CONDUCTED A SURVEY OF THE PROJECT AND HAS NOT VERIFIED THE DIMENSIONS AND SPECIFICATIONS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SPECIFICATIONS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SPECIFICATIONS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SPECIFICATIONS.

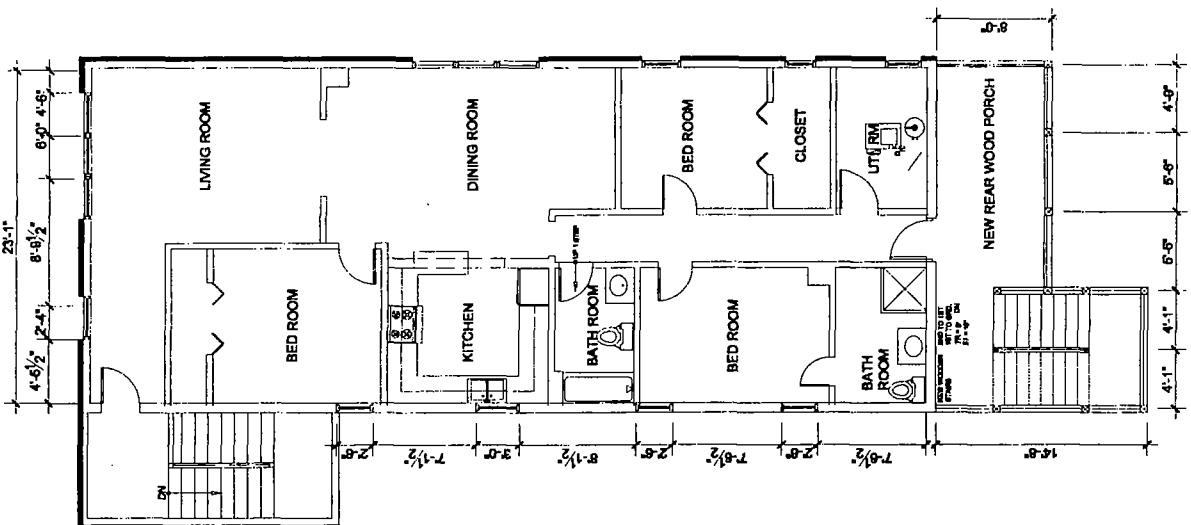
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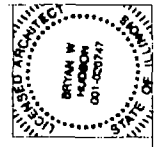
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**PROPOSED SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



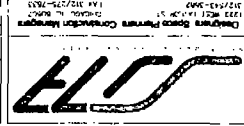
**PROPOSED THIRD FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**CLIENTS**  
FLOOR PLANS AND NOTES

DAUF PROPERTIES INC.  
3701 W. MONTROSE AVE.  
CHICAGO, ILLINOIS 606

DESIGNER: Bryan W. Hudson  
DATE: 9-18-19  
PROJECT: A-1.2

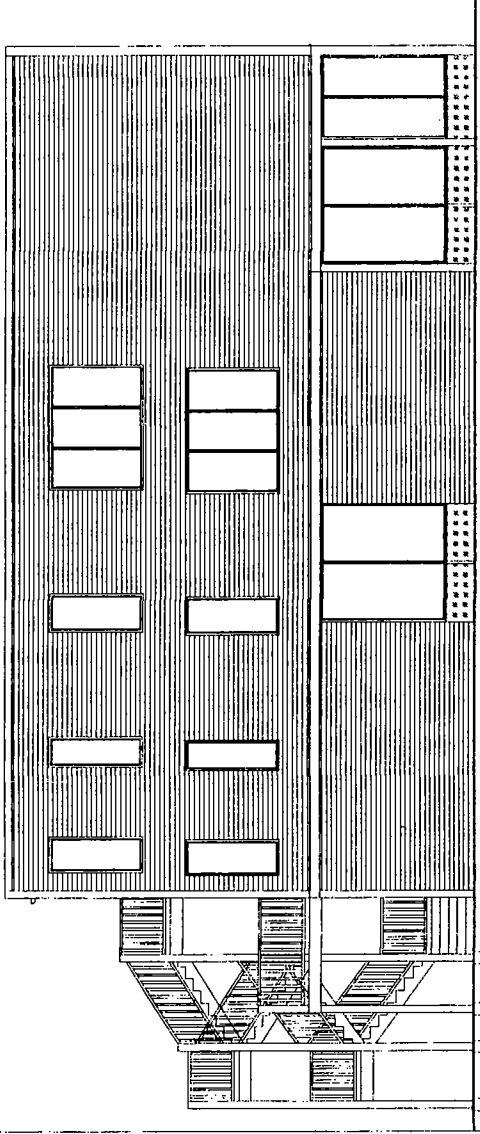


**DAUF PROPERTIES INC.**  
LEGALIZING APARTMENT UNIT & WOOD PORCH ADDITION  
3701 W. MONTROSE AVE.  
CHICAGO, ILLINOIS 606

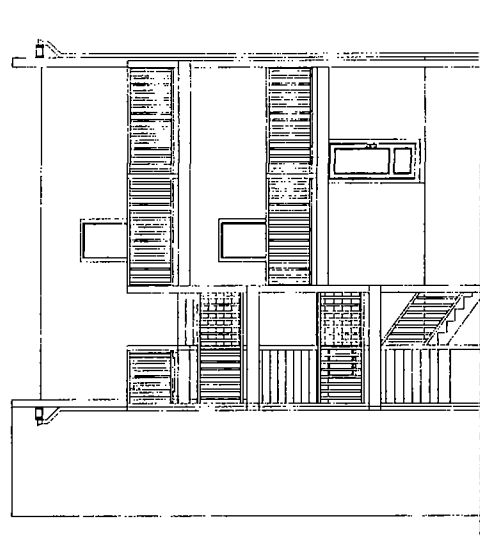
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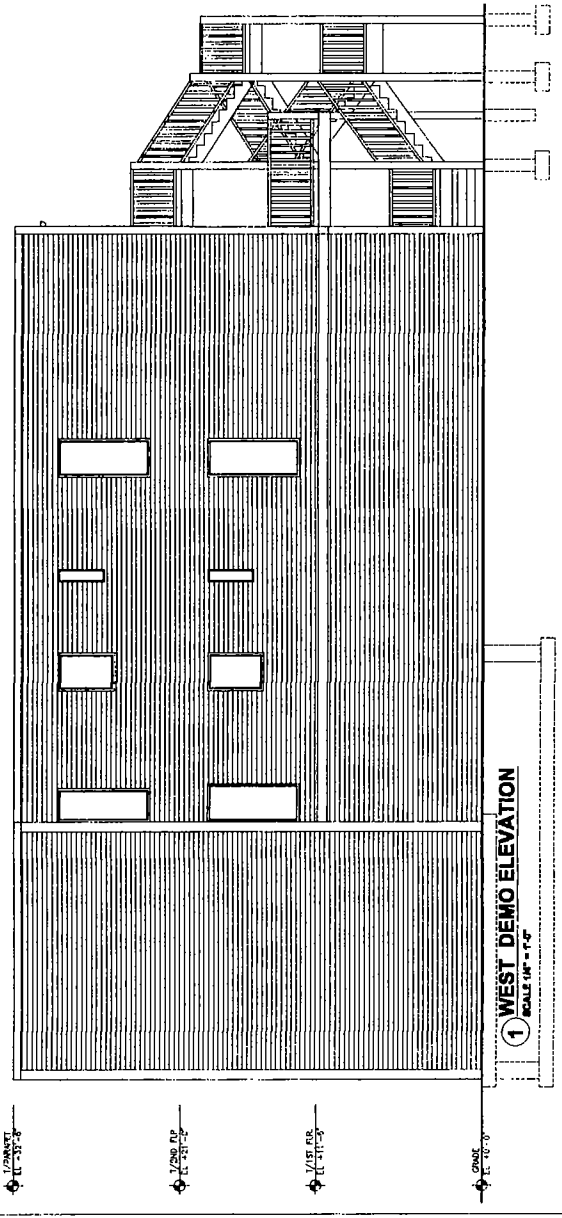
REVISIONS	
NO.	DESCRIPTION
1	9-18-18 ISSUED FOR PERMIT
2	
3	



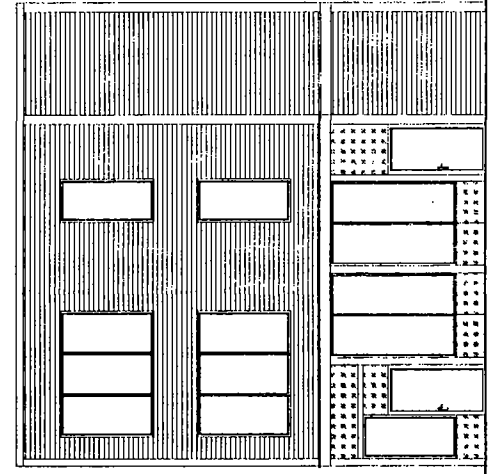
3 EAST DEMO ELEVATION  
SCALE 1/4" = 1'-0"



4 SOUTH DEMO ELEVATION  
SCALE 1/4" = 1'-0"



1 WEST DEMO ELEVATION  
SCALE 1/4" = 1'-0"



2 NORTH DEMO ELEVATION  
SCALE 1/4" = 1'-0"

THE ABOVE DIMENSIONS AND SPECIFICATIONS ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

**DAUF PROPERTIES INC.**  
LEGALIZING APARTMENT UNIT & WOOD  
PORCH ADDITION  
3701 W. MONTROSE AVE  
CHICAGO, ILLINOIS 60608

**DAUF**  
Designers: Jason Pappas, Contractor: Mergers  
1222 N. LAUREL ST.  
CHICAGO, IL 60610  
312.763.0007 FAX 312.763.0033

PROPOSED ELEVATIONS  
DATE: 9/18/18  
PROJECT NO.: A-2  
SHEET NO.: 10/11

PRINTED 9-18-18

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