



# City of Chicago



SO2018-1885

Office of the City Clerk

## Document Tracking Sheet

<b>Meeting Date:</b>	2/28/2018
<b>Sponsor(s):</b>	Misc. Transmittal
<b>Type:</b>	Ordinance
<b>Title:</b>	Zoning Reclassification Map No. 11-H at 4551-4533 N Ravenswood Ave - App No. 19568T1
<b>Committee(s) Assignment:</b>	Committee on Zoning, Landmarks and Building Standards

**SUBSTITUTE ORDINANCE No. 19568T1**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:**

***SECTION 1.*** Title 17, of the Municipal Code of Chicago, the Chicago Zoning Ordinance be amended by changing all the B3-2 Community Shopping District and M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map No.11-H in the area bounded by

a line 42 feet south of and parallel to West Wilson Avenue; the alley next east of and parallel to North Ravenswood Avenue; a line 92 feet south of and parallel to West Wilson Avenue; and North Ravenswood Avenue,

to those of a B2-3 Neighborhood Mixed-Use District and a corresponding use district is hereby established in the area above described.

***SECTION 2.*** This ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 4551-4553 North Ravenswood Avenue

**17-13-0303-C (1) Substitute Ordinance (No. 19568T1) and Substitute Narrative and Plans**  
4551-4553 North Ravenswood Avenue, Chicago, Illinois

Proposed Zoning: B2-3 Neighborhood Mixed-Use District

Lot Area: 8,190.75 square feet

Proposed Land Use: The Applicant is seeking a zoning change in order to permit the construction of a new four-story mixed-use building, at the subject property. The existing building will be razed. The new proposed building will contain commercial space (4,792 square feet) – at grade level, and a total of twelve (12) dwelling units – above (2<sup>nd</sup> thru 4<sup>th</sup> Floors). The proposal also calls for the erection of a small outdoor deck (1,507 square feet), above the roof of the 4<sup>th</sup> Floor. The subject property is located less than 1,320 linear feet from the Ravenswood CTA Station, and - therefore, the proposal qualifies as a Transit Oriented Development (TOD). As such, and pursuant to the TOD Ordinance, the Applicant intends to provide onsite parking for three (3) vehicles and twelve (12) bicycles – at the rear of the new building. The new proposed building will be masonry in construction and will measure 49 feet-5½ inches in height (ceiling of 4<sup>th</sup> Floor).

(A) The Project's Floor Area Ratio: 24,047 square feet (2.94 FAR)

(B) The Project's Density (Lot Area Per Dwelling Unit):  
12 dwelling units (682.6 square feet)

(C) The amount of off-street parking: 3 vehicular parking spaces  
12 bicycle parking places

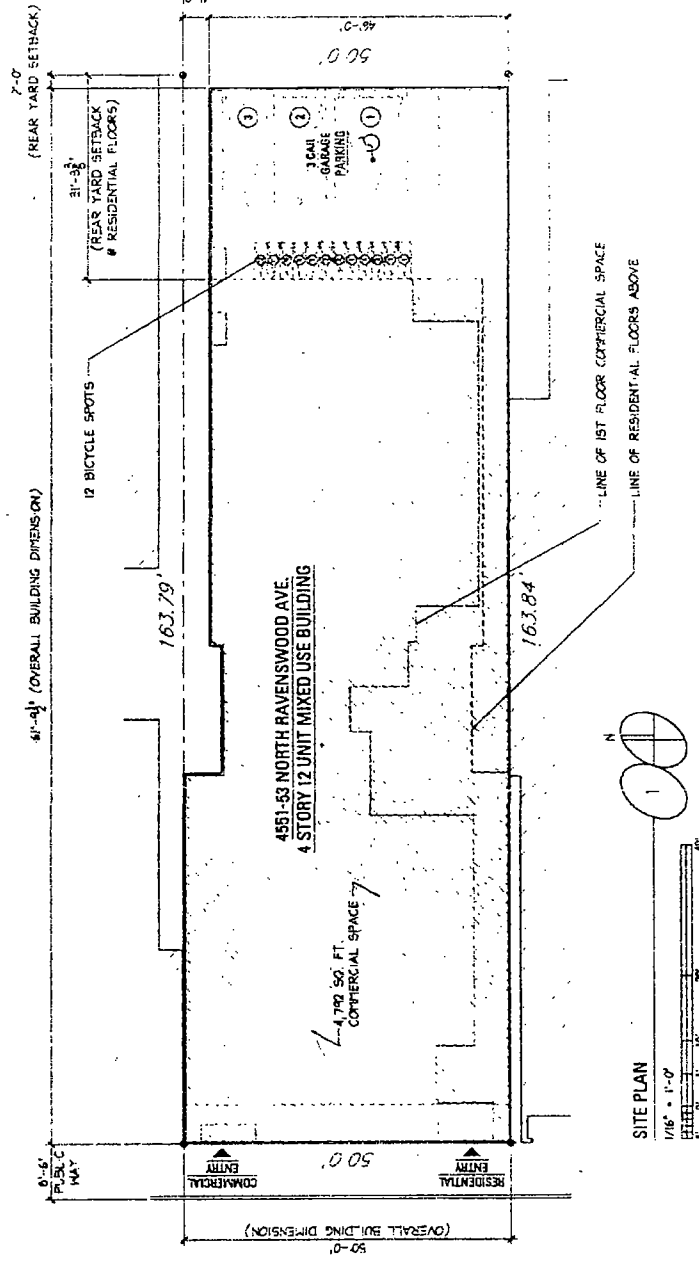
*\*The subject property is located less than 1,320 linear feet from entrance of the Ravenswood CTA Station, therefore the Applicant is seeking a 75% parking reduction, pursuant to the Transit Oriented Development (TOD) Ordinance.*

(D) Setbacks:

- a. Front Setback: 0 feet-0 inches
- b. Rear Setback: 2 feet-0 inches (1<sup>st</sup> Floor/non-residential)  
31 feet-3 3/8 inches (2<sup>nd</sup> thru 4<sup>th</sup> Floors/residential)
- c. Side Setbacks:  
North: 0 feet-0 inches  
South: 0 feet-0 inches

(E) Building Height:  
49 feet-5½ inches (ceiling of 4<sup>th</sup> Floor)

NORTH RAVENSWOOD AVENUE  
(ONE WAY TRAFFIC)



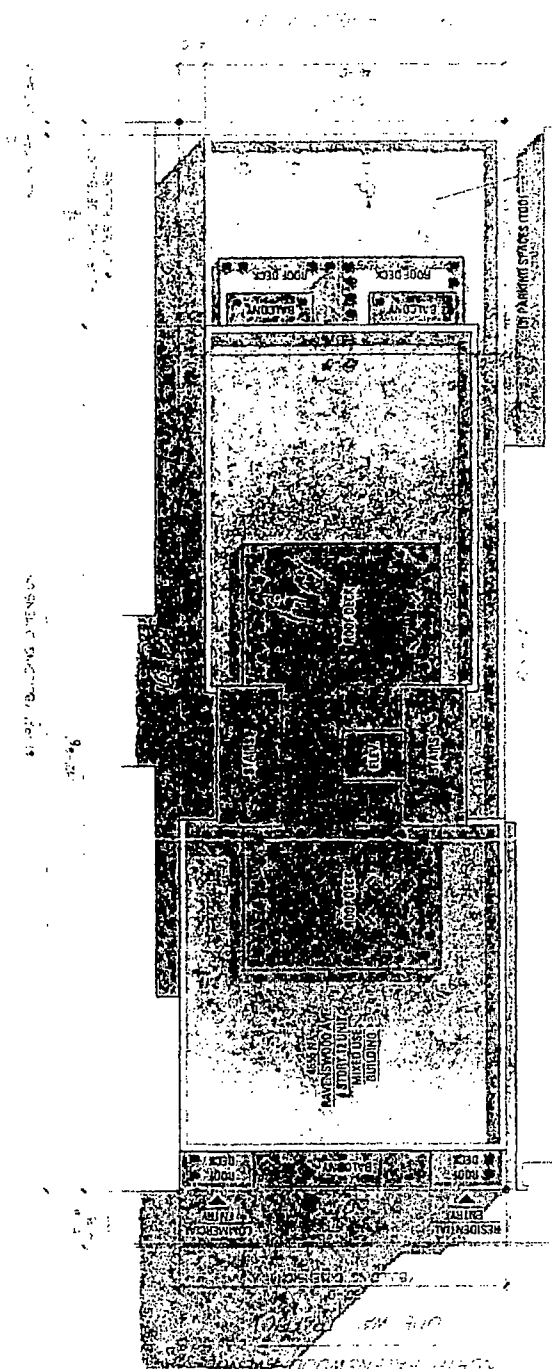
SITE PLAN  
1/16" = 1'-0"

ISA  
Jonathan Splitt Architects LLC  
4001 North Ravenswood Avenue  
Suite 401  
Chicago, Illinois 60612-2676  
773.883.1017 fax 773.883.9081

plotted  
prepared  
association  
MADE USE DEVELOPMENT  
NEW CONSTRUCTION  
EXISTING BUILDING  
CONCRETE & MASONRY  
8/7/2017, 4:52:11 PM

FINAL FOR PUBLICATION





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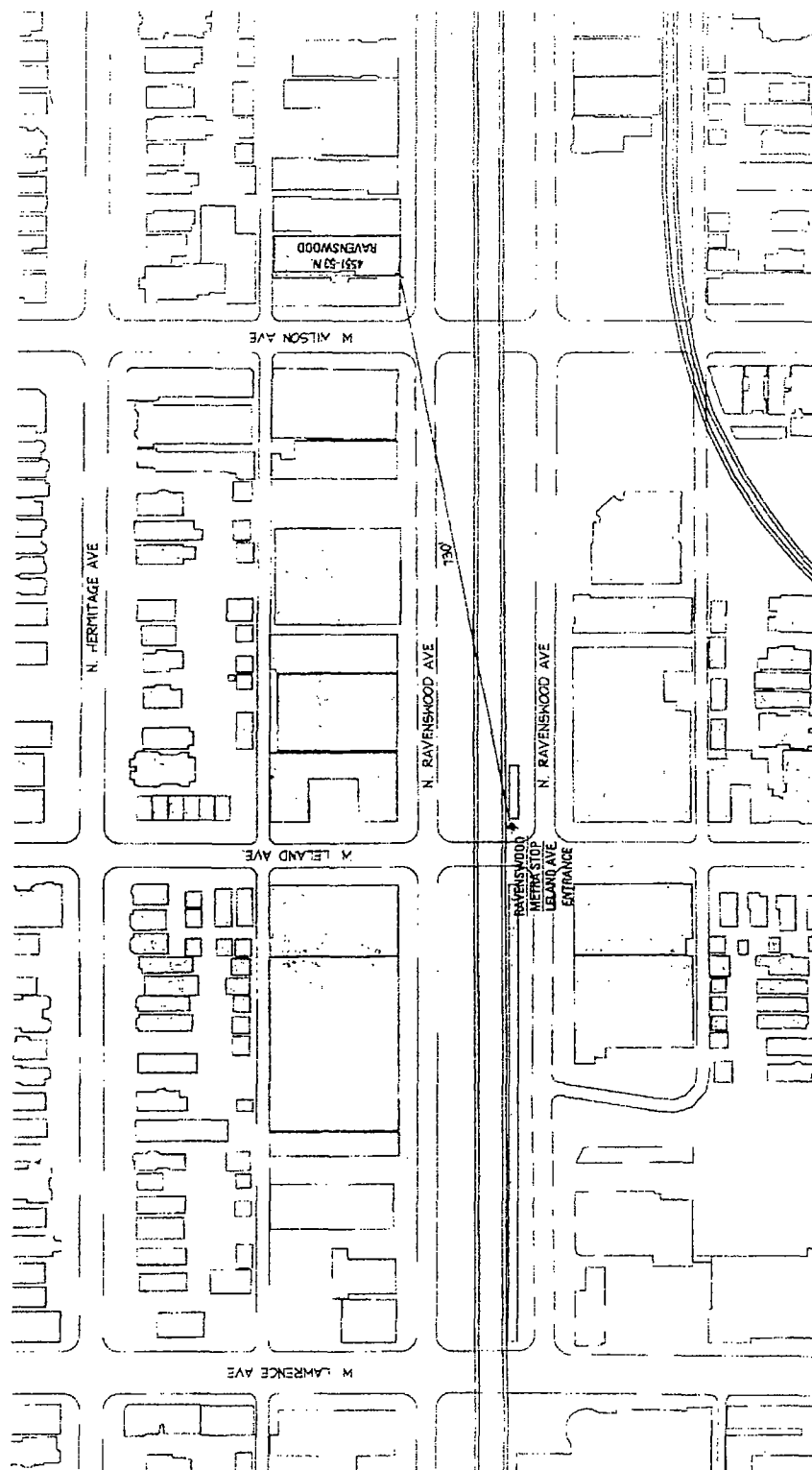
SITE PLAN  
1" = 50'  
0' 5' 10' 20' 30' 40'

3a  
Kendall SPullfarchenichs Ltd  
4001 North Washington Ave., #2  
Arlington, VA 22204  
773 883 1017 x. 773 883 3001

PROJ 4  
SHEET 11  
DATE 10/1/94  
DRAWN BY J. PULLFARCHENICH  
CHECKED BY J. PULLFARCHENICH  
APPROVED BY J. PULLFARCHENICH

A  
11

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**ISA**  
**Longman Split Architects Ltd**  
4001 North Ravenswood Avenue  
Suite 601  
Cockeage Illinois 60012-2478  
773 883 1017 fax 773 883 3081

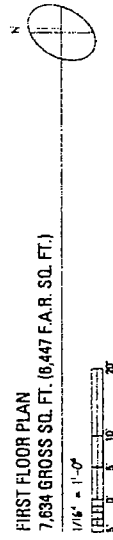
DISTANCE TO METRA FOR T.O.D.  
1/28" = 1'-0"



proj #  
proj.  
WOOD LIFE DEVELOPMENT  
\*NEW CONSTRUCTION  
4531-33 N. AVALONWOOD AVE.  
CHICAGO, IL 60640  
567-2015, 567-1511; FOR REPAIR



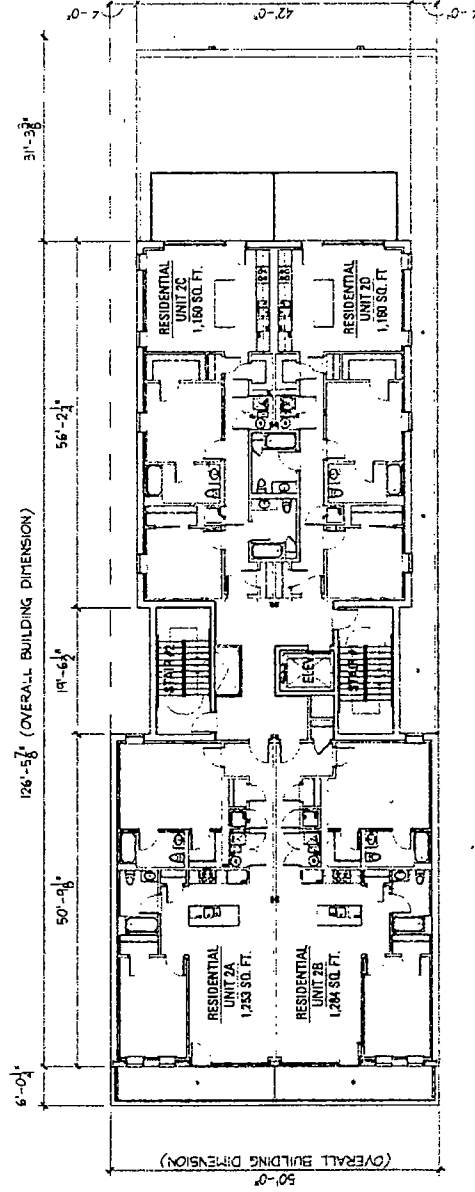
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unclassified  
 1000  
 1000

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A. 2:1



SECOND FLOOR PLAN  
5,648 SQ. FT.

1/16" = 1'-0"

0 5 10 20

N

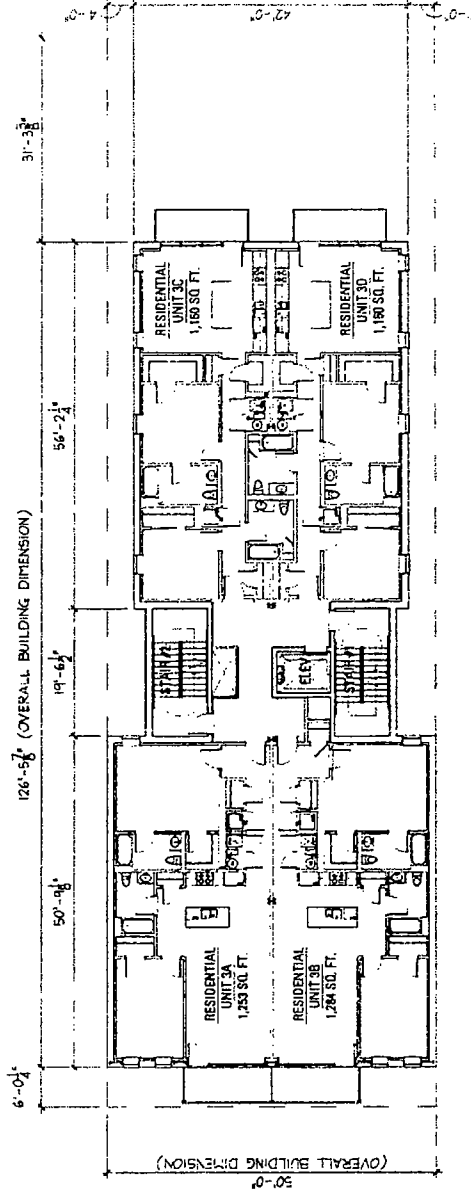
JSB  
Jonathan SPLITT architects LLC  
400 North Ravenswood Avenue  
Suite 401  
Chicago, Illinois 60612-3276  
773.833.1217 / 773.833.9081

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proj. #  
pro]  
MAXIMUM DEVELOPMENT  
400 NORTH RAVENWOOD AVE  
CHICAGO, IL 60612  
312.833.8840 / 312.833.9081

72





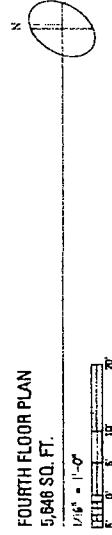
THIRD FLOOR PLAN  
5,646 SQ. FT.



JSA  
JORDAN APPLITT ARCHITECTS LLC  
4001 NORTH GREENWOOD AVENUE  
SUITE 201  
CHICAGO, ILLINOIS 60612-2576  
773.888.1017 FAX 773.888.3081

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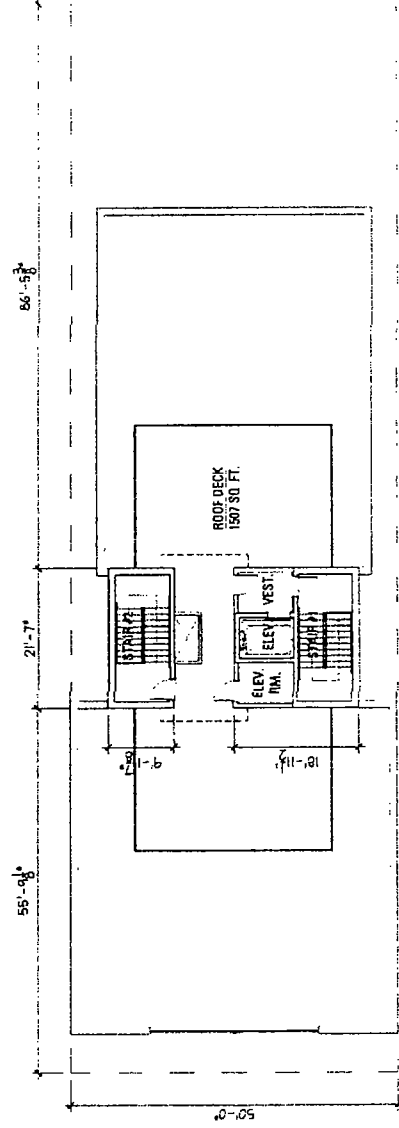
proj. #  
prep.  
evaluation  
A  
7.3  
VALID USE DEVELOPMENT  
ANY CONSTRUCTION  
SHOULD BE APPROVED BY  
CITY OF CHICAGO  
SOUTH SIDE BOARD REVIEW



10-9

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Project	Description
proj.	ADVISORY BOARD FOR NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
proj.	NEW CONSTRUCTION - 651-65 N. RAYBURNWOOD CHICAGO, IL 60642



ROOF PLAN  
682 SQ. FT.  
1/16" = 1'-0"

A north arrow pointing upwards and a graphic scale bar showing increments of 0, 5, 10, and 20 feet.

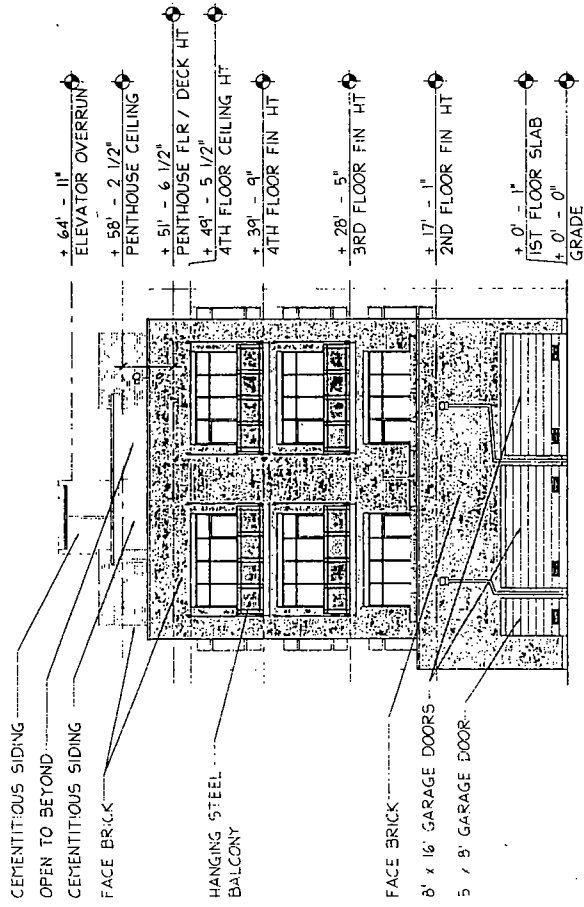
FINAL FOR PUBLICATION

JSB  
Jonathan Spitt Architects LLC  
4501 North Ravenswood Avenue  
Suite 801  
Chicago Illinois 60634-2076  
773 833 1017 • 773 833 1081

Proj #  
11111  
Description  
NOT FOR CONSTRUCTION  
NOT FOR PERMITS  
NOT FOR RECORD FOR REVIEW

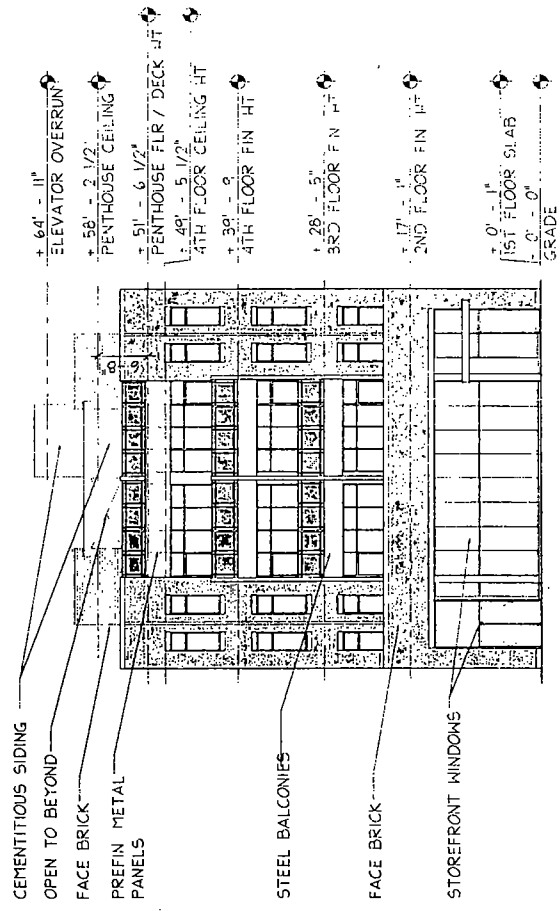
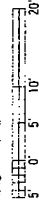
A  
2.5

NEED USE DEVELOPMENT  
NEW CONSTRUCTION  
REPAIRS AND MAINTENANCE  
CHANGING LINES  
NOT FOR RECORD FOR REVIEW



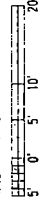
EAST ELEVATION

1/16" = 1'-0"



WEST ELEVATION

1/16" = 1'-0"



jSa

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suite 601  
chicago illinois 606132575  
773 883 1017 ext 773 883 3081

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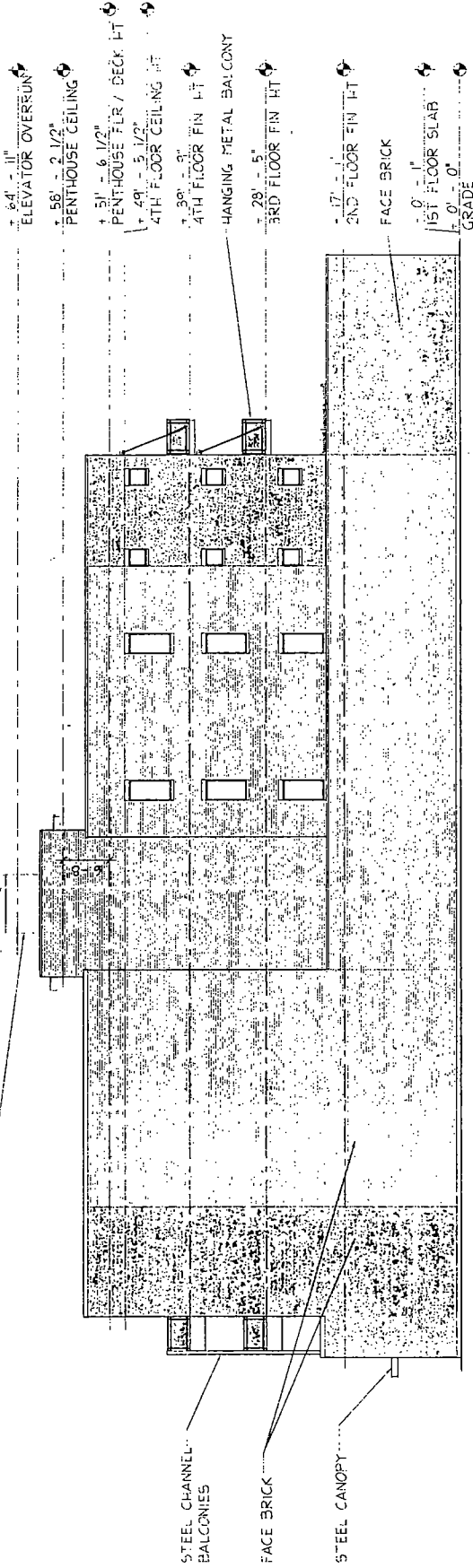
proj #

proj

MARKED USE DEVELOPMENT  
NEW CONSTRUCTION  
5515 N. RAVENSWOOD AVE  
CHICAGO IL 60640  
50/2018 SSJED RFP-NE-NEW

description

CEMENTITIOUS SIDING



SOUTH ELEVATION

1/16" = 1'-0"



j s a

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4001 north Ravenswood Avenue  
Suite 801, Chicago, IL 60654-3216  
TEL 773 883 1017 FAX 773 883 3081

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proj #

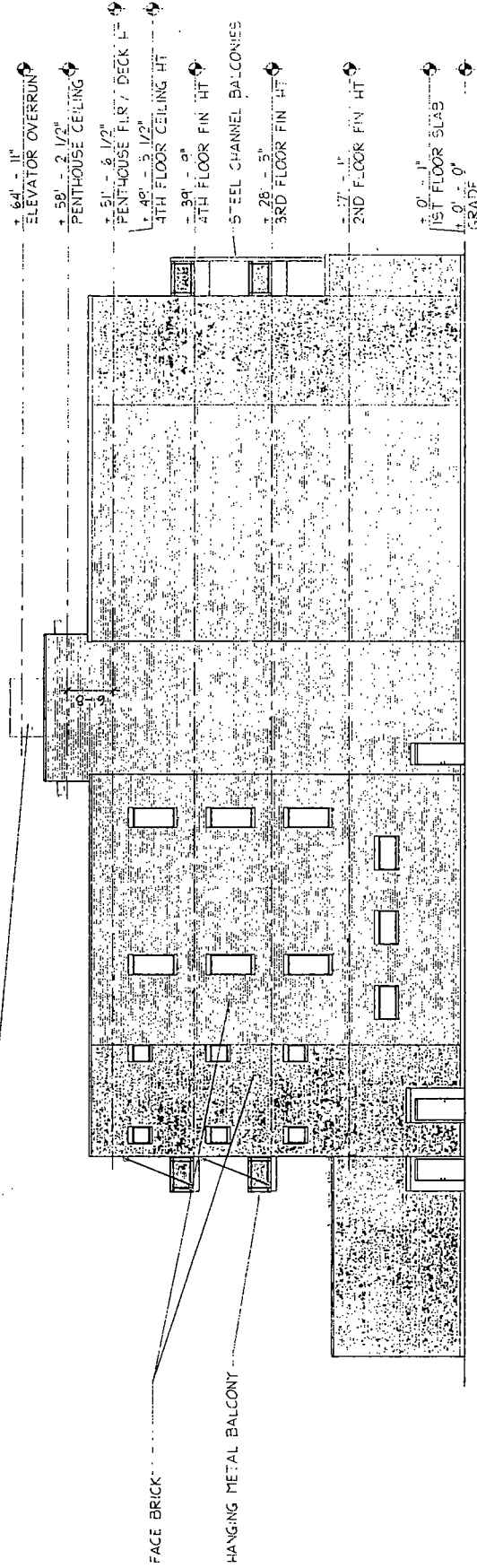
proj

USED AS REFERENCE  
FOR CONSTRUCTION  
4001 N. RAVENSWOOD AVE  
CHICAGO, IL 60654

description

5/2/2019 ISSUED FOR REVIEW

CEMENTITIOUS SIDING



NORTH ELEVATION

1/16" = 1'-0"



J S a

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4001 north Ravenswood Avenue

Suite 601

Chicago, Illinois 60613-2576

773.883.1017 fax 773.883.3081

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proj. #

date

description

MIXED USE DEVELOPMENT  
NEW CONSTRUCTION  
4531-53 N. HAVENWOOD AVE  
CHICAGO, IL 60643  
5/6/2018 ISSUED FOR REVIEW

A  
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