



City of Chicago



SO2021-3108

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	7/21/2021
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 11-K at 4712-4738 W Irving Park Rd - App No. 20785
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

FINAL FOR
PUBLICATION

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO.

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing the PD 617 District symbols and indications as shown on Map No. 11-K in the area bounded by

North Cicero Avenue; West Belle Plaine Avenue; North Kilpatrick Avenue; a line 216 feet north of Belle Plaine Avenue running for a distance of 355.83 feet; the westerly right-of-way of the Chicago, Milwaukee & St. Paul Railroad; West Irving Park Road; a line 133 feet east of North Kilpatrick Avenue; a line 150 feet north of West Irving Park Road; North Kilpatrick Avenue; a line 33 feet west of North Kilpatrick Avenue; A line 100 feet north of West Irving Park Road; a line 153 feet west of North Kilpatrick Avenue; and West Irving Park Road

to those of a PD 617, as amended District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 4712 W. Irving Park Road

AMENDMENT TO
BUSINESS PLANNED DEVELOPMENT 617
PLANNED DEVELOPMENT STATEMENTS

1. The area delineated herein as Residential-Business Planned Development Number 617, as amended ("Planned Development") consists of approximately 715,764 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by the Applicant, Six Corners Real Estate Devt., LLC.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal title holder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Departments of Planning and Development, and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the property, which may include, but not be limited to, the following as shall

be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway & landscaping

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the Department of Transportation's Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

4. This Plan of Development consists of 18 statements and exhibits: a Bulk Regulations Table; a survey; a site plan, existing site photos; an existing zoning and land use map, landscape plan; a subarea plan; a site plan; building elevations (North, South, East and West); floor plans; prepared by MG2 and dated June 4, 2021, submitted herein (collectively, "Plans"). Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development Ordinance and the Zoning Ordinance, this Planned Development Ordinance shall control.
5. The following uses are permitted in Subarea A: all uses allowed under a B3-2, Community Shopping District, except dwelling units and lodging rooms.

The following uses are permitted in each of Subareas B and C: efficiency and dwelling units located above the ground floor, artist live-work located above the ground floor, general retail sales, office, limited restaurant,

general restaurant, outdoor patio (if located at grade level), personal service, indoor participant sports and recreation, co-located wireless communication facilities, schools, day care, children's play centers, sales and grooming, veterinary, body art services, vacation rental, shared housing unit, cultural exhibits and libraries, artists work or sales space, business equipment sales and service, business support services, communication service establishments, financial services, food and beverage retail sales, medical service, including accessory parking and related uses.

6. On-Premise signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premise signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio ("FAR") for the Property shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a Net Site Area of 715,764 (a Net Site Area of 455,470 square feet for Subarea A, a Net Site Area of 111,978 square feet for Subarea B, and a Net Site Area of 148,316 square feet for Subarea C).
9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review Fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
10. The site and landscape plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and

Buildings, under Section 13-32-085 of the Municipal Code, or any other provision of that Code.

12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned Policy and must provide documentation verifying compliance.
15. Any material development in Subarea C shall be submitted and processed under Site Plan Review pursuant to Section 17-13-0801 through Section 17-13-05 of the Chicago Zoning Ordinance. Prior to the Part II approval (Section 17-13-0610 of the Chicago Zoning Ordinance) for any buildings, the Applicant shall submit a site plan, landscape plan and building elevations ("Site Plan Submittal") for review and approval by the Department of Planning and Development ("DPD"). Upon submittal, DPD and the Applicant shall notify the Alderman of the ward in which a Site Plan Submittal is located and, in conjunction with the Site Plan Submittal, the Applicant shall be subject to a public review process that is facilitated by such Alderman. Review and approval by DPD are intended to assure that specific development components substantially conform with the Planned Development.

Provided the Site Plan Submittal required hereunder is in general conformance with this Planned Development, and provided the Applicant has timely provided all Site Plan Submittals, the Commissioner shall issue such Site Plan Approval. Following the approved Site Plan Approval,

supporting data and materials shall be made part of the main file and shall be deemed to be an integral part of the Planned Development.

Any Site Plan Submittal for Subarea C shall, at a minimum, provide the following information:

- a. The boundaries of the property;
- b. The footprint of the improvements;
- c. Location and dimensions of all parking spaces and loading berths;
- d. Preliminary landscaping plan prepared by a landscape architect;
- e. All pedestrian circulation routes;
- f. Preliminary building sections and elevations of the improvements with a preliminary building materials list; and
- g. Statistical information applicable to the property limited to the following:
 - (1) floor area and floor area ratio;
 - (2) uses to be established;
 - (3) building heights;
 - (4) all setbacks, required and provided;
 - (5) floor area devoted to all uses (office, dwelling, etc....);
 - (6) number of dwelling units (if applicable);
 - (7) Occupancy counts (if applicable);
 - (8) Number of loading spaces/berths;
 - (9) An approved Site Plan by CDOT, Fire Prevention Bureau, Mayor's Office for People with Disabilities, and the Building Department's Division of Storm Water Management; and
 - (10) Any other information necessary to illustrate substantial conformance with the Planned Development.

16. The Applicant acknowledges and agrees that the rezoning of the Property from Planned Development 617 to Planned Development 617, as amended ("PD"), triggers the requirements of Section 2-44-080 of the Municipal Code (the "Affordable Requirements Ordinance" or "ARO"). Any developer of a "residential housing project" within the meaning of the ARO must: (i) set aside 10% of the housing units in the residential housing project ("ARO Units") as affordable units, or with the approval of the commissioner of the Department of Housing ("DOH") (subject to the transition provisions of Section 2-44-040(c)), in consultation with the commissioner of the Department of Planning and Development ("DPD") as appropriate; (ii) pay a fee in lieu of the development of the ARO Units (Cash Payment); or (iii) any combination of (i) and (ii); provided, however, that residential housing projects with 20 or more units must provide at least 25% of the ARO Units on-site or off-site (Required Units). If the developer elects to provide ARO Units off-site, the off-site ARO Units must be located within a two-mile radius from the residential housing project and in the same or a different higher income area or downtown district. The Property is located in a higher income area within the meaning of the ARO.

For Subarea B, the project has a total of 207 units. As a result, the Applicant's affordable housing obligation is 21 ARO Units (10% of 209 rounded up), 6 of which are Required Units (25% of 21, rounded down). Applicant has agreed to satisfy its affordable housing obligation by making a cash payment to the Affordable Housing Opportunity Fund in the amount of \$134,242 per ARO Unit ("Cash Payment") for a total cash payment of \$2,013,630 for 15 ARO Units, and providing 6 ARO Units in the building to be constructed in the Planned Development to be approved by the Department of Housing in consultation with DPD as appropriate, as set forth in the Affordable Housing Profile Form attached hereto as Exhibit A. The Applicant agrees that the ARO rental Units must be affordable to households earning no more than 60% of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually by the City of Chicago. If the Applicant subsequently reduces (or increases) the number of ARO Units in the Planned Development, the Applicant shall update and resubmit the Affordable Housing Profile Form to the Department of Housing for review and approval, and DOH may adjust the number of required ARO Units without amending the Planned Development. Prior to the issuance of any building permits for any residential building in the Planned Development, including, without limitation, excavation or foundation permits, the Applicant must make the required Cash Payment and/or execute and record an affordable housing agreement in accordance with Section 2-44-080(L). The cash payment will be recalculated at the time of payment (including partial payments for phased developments) and may be adjusted based on changes in the consumer price index in accordance with Section 2-44-080. The terms of

the affordable housing agreement and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the affordable housing agreement will be recorded against the Planned Development, or the applicable portion thereof, and will constitute a lien against such property. The Commissioner of DOH may enforce remedies for any breach of this Statement 16, including any breach of any affordable housing agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the Planned Development.

17. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the Applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The City encourages goals of (i) 26% MBE and 6% WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50% city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the Applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the Applicant's submission for Part II permit review for the project or any phase thereof, the Applicant must submit to DPD (a) updates (if any) to the Applicant's preliminary outreach plan, (b) a description of the Applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the Applicant's outreach efforts, and (d) updates (if any) to the Applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the Applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the forgoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and

FINAL FOR
PUBLICATION

actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

18. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning and Development shall initiate a Zoning Map Amendment to rezone the property to PD 617 prior to the passage of this Amendment.

AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 617,
BULK REGULATIONS AND DATA TABLE

FINAL FOR
PUBLICATION

Total Gross Site Area:	814,407 SF
Total Area in Public Way:	98,643 SF
Net Site Area:	
Subarea A:	455,470 SF
Subarea B:	111,978 SF
Subarea C:	148,316 SF
Total Net Site Area:	715,764 SF
Maximum Floor Area:	
Subarea A:	168,523.90 (118,044 SF Existing)
Subarea B:	295,621.92
Subarea C:	519,106.00
Floor Area Ratio:	
FAR Overall:	0.73
FAR Subarea A:	0.37 (0.26 Existing)
FAR Subarea B:	2.64
FAR Subarea C:	3.50
Setbacks:	
Subarea A:	Existing, no change
Subarea B:	In accordance with Site Plan
Subarea C:	In accordance with B3-3 Community Shopping District.
Maximum Building Height:	
Subarea A:	Existing, no change (per building elevations of PD 617 dated July 10, 1996 on file with Department of Planning)
Subarea B:	112'7"
Subarea C:	75'
Minimum Parking Spaces:	
Subarea A:	622 (Existing per Survey)
Subarea B:	Standard*: 207 (Resid.); 100 (Retail) Proposed: 186 (Resid.); 89 (Retail) *TSL Parking reductions allowed

Applicant: Six Corner Real Estate Devt., LLC
Address: 4712-38 W. Irving Park
Introduced: July 14, 2021
CPD Date: August 26, 2021

AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 617,
BULK REGULATIONS AND DATA TABLE

FINAL FOR
PUBLICATION

Subarea C:	Pursuant to Section 17-10-0207 standards for the B3-3 Community Shopping District.
Dwelling Units:	
Subarea A:	0
Subarea B:	207
Subarea C:	Pursuant to the requirements of Section 17-03-0402-A
Bicycle Parking Spaces:	
Subarea A:	0
Subarea B:	Standard: 104 (Resid.); 20 (Retail)* Proposed: 207 (Resid.); 20 (Retail) *1:5 req'd vehicular parking space
Subarea C:	Pursuant to Section 17-10-0207-D
Loading Spaces:	
Subarea A:	Existing, no change
Subarea B:	1 (10 x 25) 3 (10 x 50)
Subarea C:	Pursuant to Section 17-10-1100

Applicant: Six Corner Real Estate Devt., LLC
Address: 4712-38 W. Irving Park
Introduced: July 14, 2021
CPD Date: August 26, 2021

ARO Affordable Housing Profile Form (AHP)

Submit this form for projects that are subject to the 2015 ARO, Near North/Near West Pilot, Milwaukee Pilot or Pilsen/Little Village Pilot Ordinances (all projects submitted to City Council after October 13, 2015). More information is online at www.cityofchicago.gov/ARO. Submit the completed to the Department of Housing (DOH), 121 N. LaSalle Street, 10th Floor, Chicago, IL 60602. **E-mail:** denise.roman@cityofchicago.org or justin.root@cityofchicago.org. Applications that include off-site units should submit documentation listed on page two.

Date:

DEVELOPMENT INFORMATION

Development Name: Six Corners

Development Address: 4712-38 W. Irving Park Road

Zoning Application Number, if applicable: 20785

Ward: 45

If you are working with a Planner at the City, what is his/her name? Eillesh Tuffy

Type of City Involvement

check all that apply

- City Land
- Planned Development (PD)
- Financial Assistance
- Transit Served Location (TSL) project
- Zoning increase

REQUIRED ATTACHMENTS: the AHP will not be reviewed until all required docs are received

- ARO Web Form completed and attached - or submitted online on
- ARO "Affordable Unit Details and Square Footage" worksheet completed and attached (*Excel*)
- If ARO units proposed, Dimensioned Floor Plans with affordable units highlighted are attached (*pdf*)
- If ARO units proposed are off-site, required attachments are included (see next page)
- If ARO units are CHA/Authorized Agency units, signed acceptance letter is attached (*pdf*)

DEVELOPER INFORMATION

Developer Name: Six Corners Real Estate Devt., LLC

Developer Contact: Jake Paschen

Developer Address: 3423 N. Drake, Chicago, IL 60618

Email: jpaschen@novakconstruction.com

Developer Phone: 847-446-2446

Attorney Name: Tyler Manic

Attorney Phone: 312-345-5706

TIMING

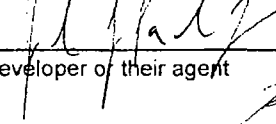
Estimated date marketing will begin: May 2023

Estimated date of building permit*: May 2022

Estimated date ARO units will be complete: October 2023

*the in-lieu fee, recorded covenant and \$5,000 per unit administration fee (for off-site units) are required prior to the issuance of any building permits, including the foundation permit.

PROPOSED UNITS MEET REQUIREMENTS (to be executed by Developer & ARO Project Manager)



 Developer or their agent

8.4.21

 Date

ARO Project Manager, DOH

_____ Date



ARO Web Form

FINAL FOR
PUBLICATION

Applicant Contact Information

Name: Tyler Manic

Email: tmanic@schainbanks.com

Development Information

Address

Printed Date: 08/04/2021

Number From: 4712 Number To: 4738 Direction: W

Street Name: Irving Park Postal Code: 60641

Development Name

Six Corners

Are you rezoning to downtown?: No

Is your project subject to the ARO Pilots?: 2015 ARO REQUIREMENTS APPLY

Information

Ward: 45

ARO Zone: Higher Income

Details

ARO Ttrigger: ZP

Total Units 207

Development Type: Rent

TSL Project: TSL-or FAR doesn't exceed 3.5

Date Submitted: 08/04/2021

Requirements

FINAL FOR
PUBLICATION

Affordable Units: 21 *On-site aff. Units 5

How do you intend to meet your required obligation

On-Site: 6 Off-Site: 0

On-Site to CHA or Authorized Agency: 0 Off-Site to CHA or Authorized agency: 0

Total Units: 6 In-Lieu Fee Owed: 2,013,630

FINAL FOR PUBLICATION

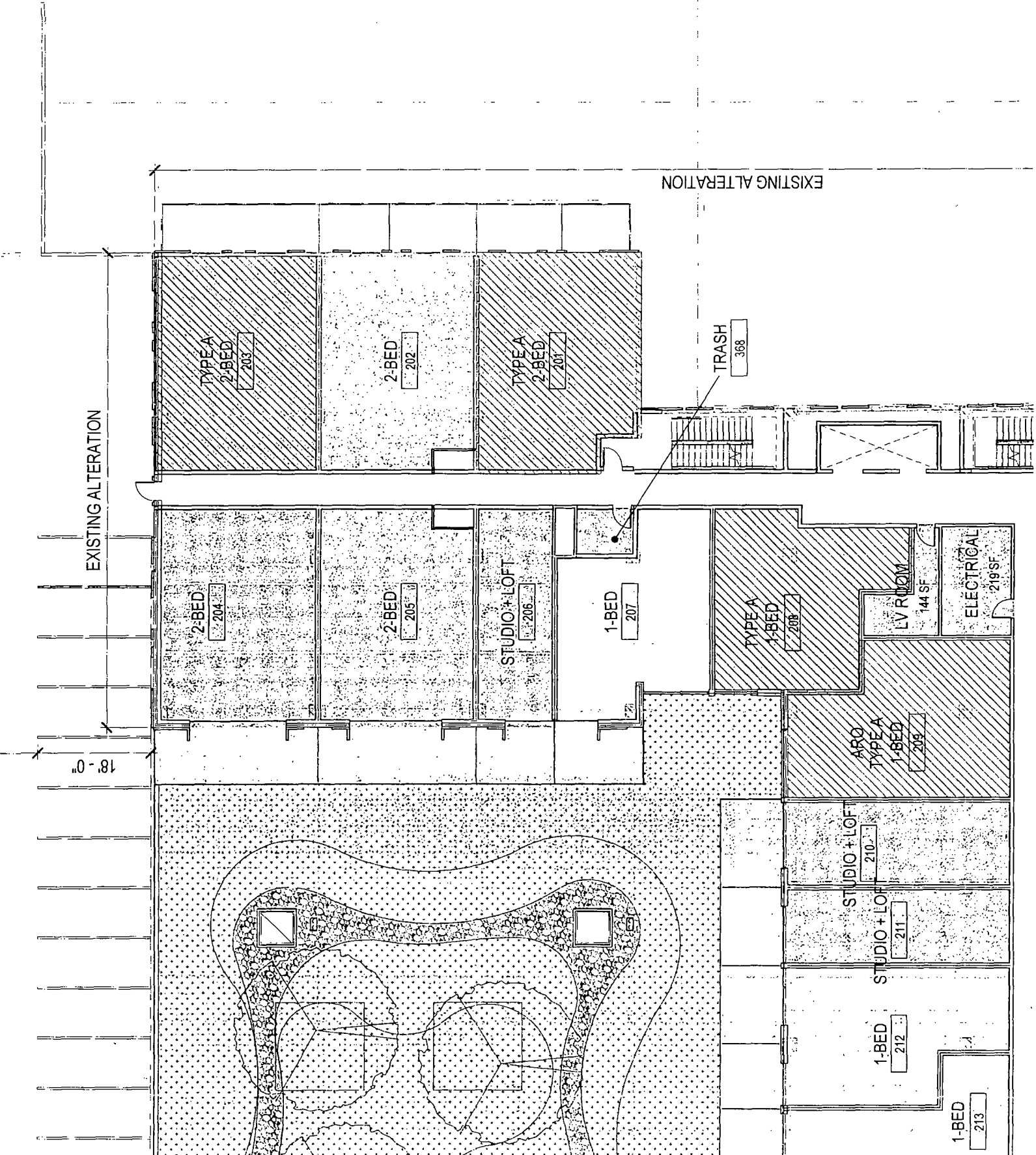
Project Name: Six Corners
 Location number, if applicable: 20785
 Address: 4712-38 W Irving Park Road
 City: Rental
 Rent: 3.00
 Estimated average psf rent/price: 3.00

Total Units in Project: 207
 Total Affordable units: 6

	Market Rate Units Available FCFS In Unit Laundry	Affordable Units Available FCFS In Unit Laundry
Parking		
Laundry		
Appliances		
Refrigerator	Stainless Steel	Stainless Steel
Age/EnergyStar/make/model/color		
Dishwasher	Stainless Steel	Stainless Steel
Age/EnergyStar/make/model/color		
Stove/Oven	Stainless Steel	Stainless Steel
Age/EnergyStar/make/model/color		
Microwave	Stainless Steel	Stainless Steel
Age/EnergyStar/make/model/color		
Bathroom(s)	Studios-One Bath, One Bedroom-One Bath, Two Bedroom-Two Bath	Studios-One Bath, One Bedroom-One Bath, Two Bedroom-Two Bath
How many?		
Half bath? Full bath?		
Kitchen countertops material	TBD (Likely Quartz)	TBD-Same as Market Rate
Flooring material	Vinyl plank flooring	Vinyl plank flooring
HVAC	Central/Heat Pumps	Central/Heat Pumps
Other		

Summary

Unit type	how many?	avg square footage	% of total	market rate	how many?*	avg square footage	% of total	affordable v. market square footage =
studio	41	591	20%	20%	1	579	17%	98%
one-bed	120	768	60%	60%	4	852	67%	111%
two-bed	40	1,033	20%	20%	1	1,066	17%	103%



EXISTING ALTERATION

EXISTING ALTERATION

18'-0"

TYPE A
2-BED
203

2-BED
202

TYPE A
2-BED
201

TRASH
368

2-BED
204

2-BED
205

STUDIO+LOFT
206

1-BED
207

TYPE A
1-BED
208

LV ROOM
144 SF

ELECTRICAL
219 SF

ARG
TYPE A
1-BED
209

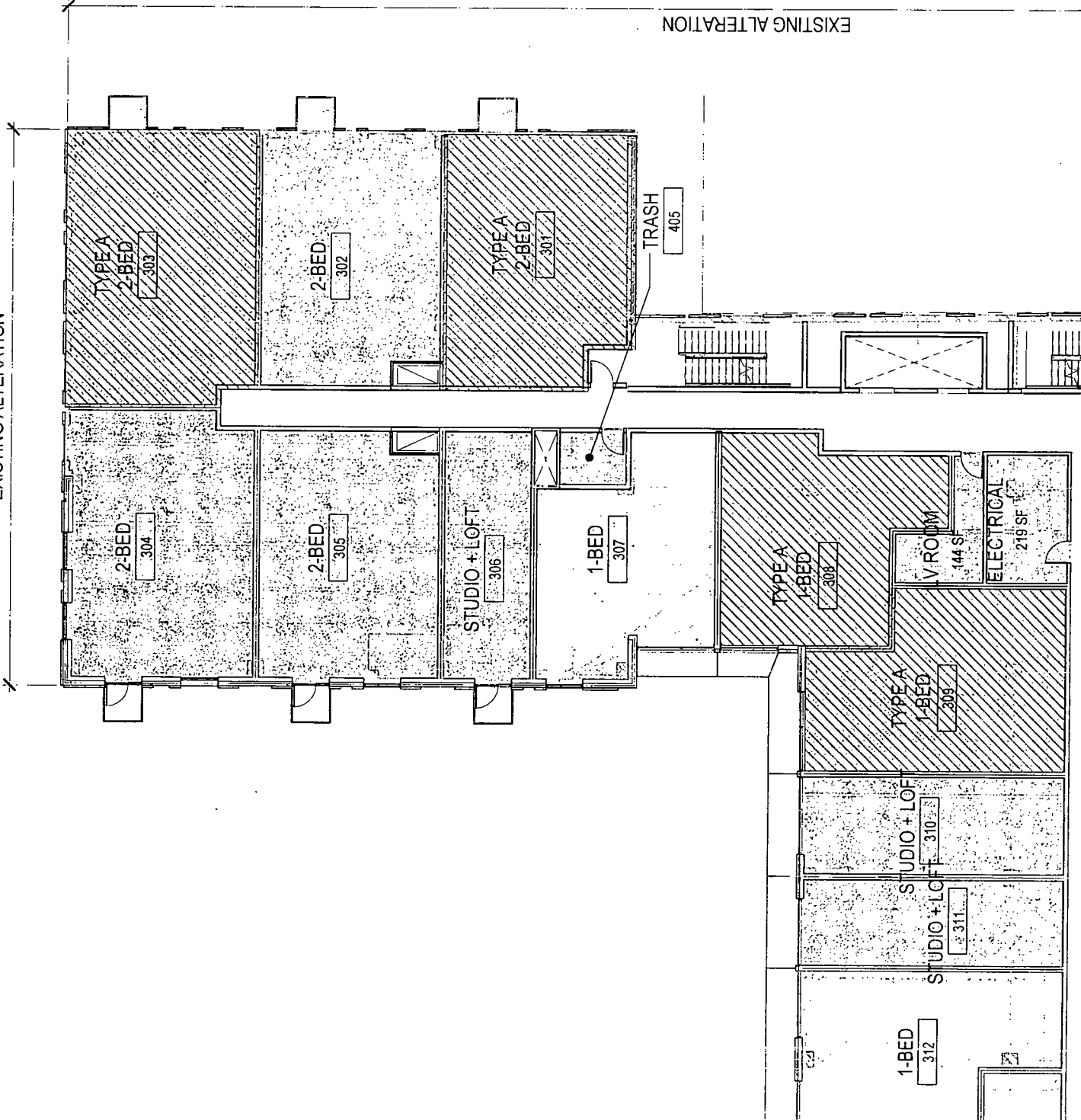
STUDIO+LOFT
210

STUDIO+LOFT
211

1-BED
212

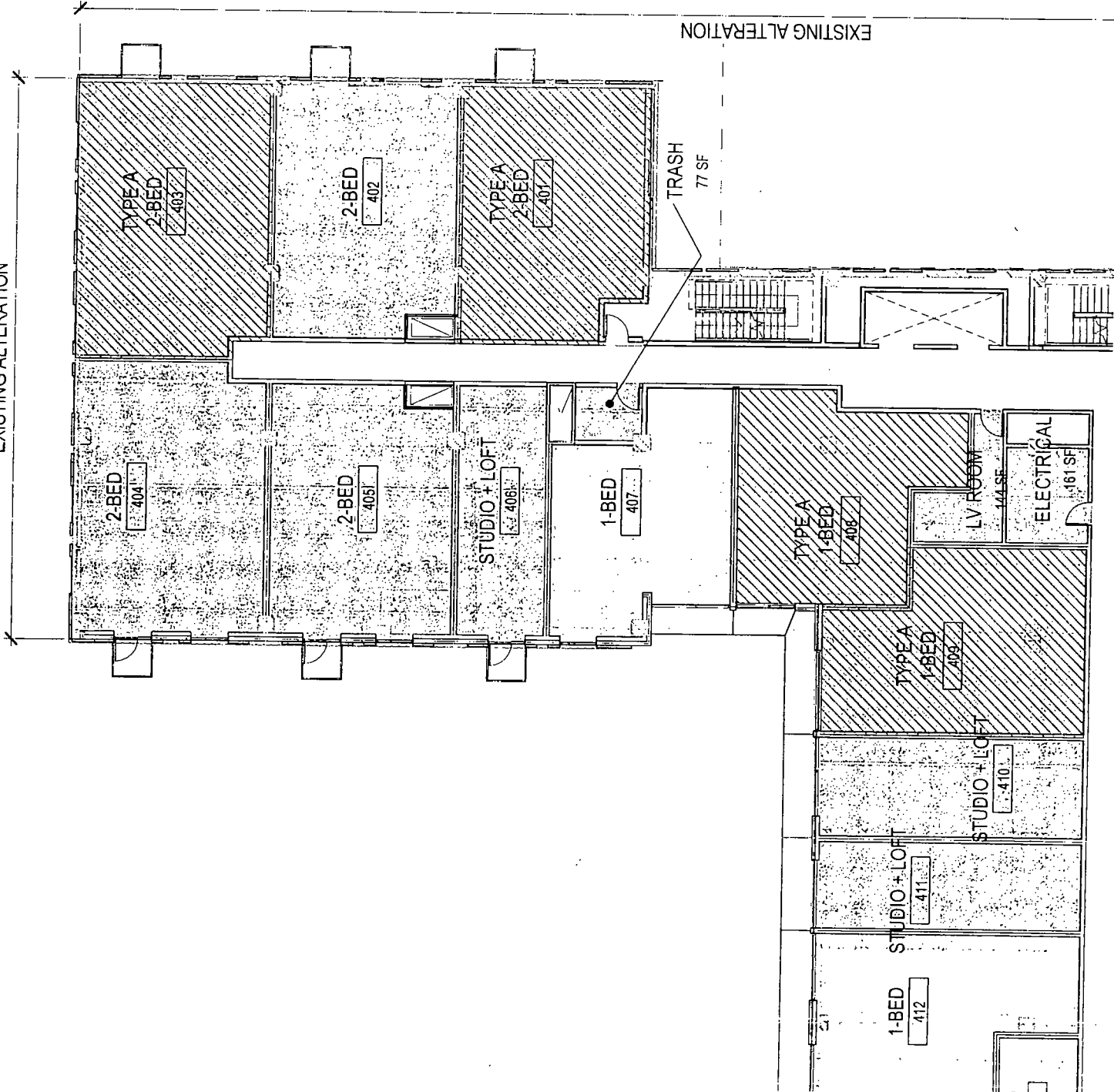
1-BED
213

EXISTING ALTERATION



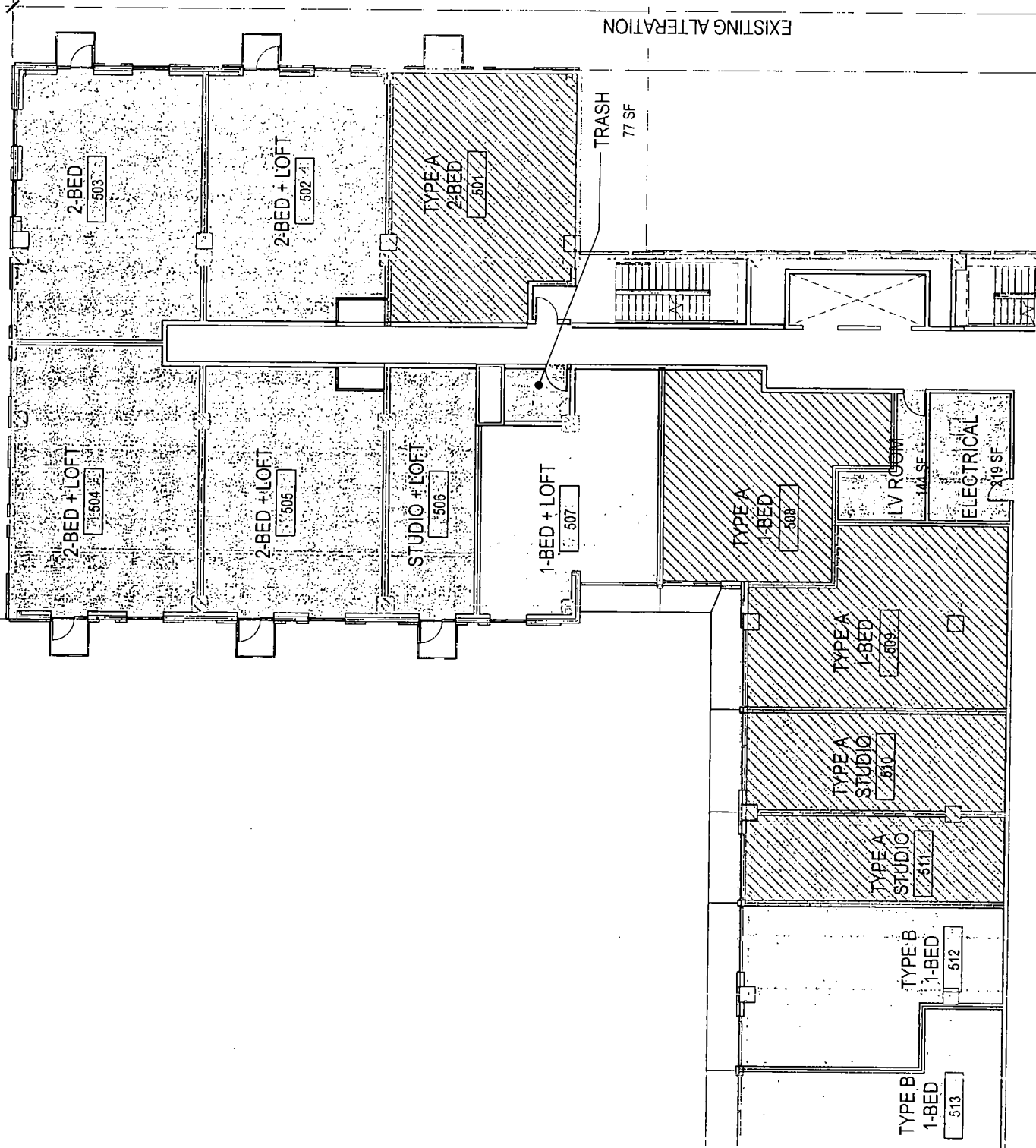
EXISTING ALTERATION

EXISTING ALTERATION



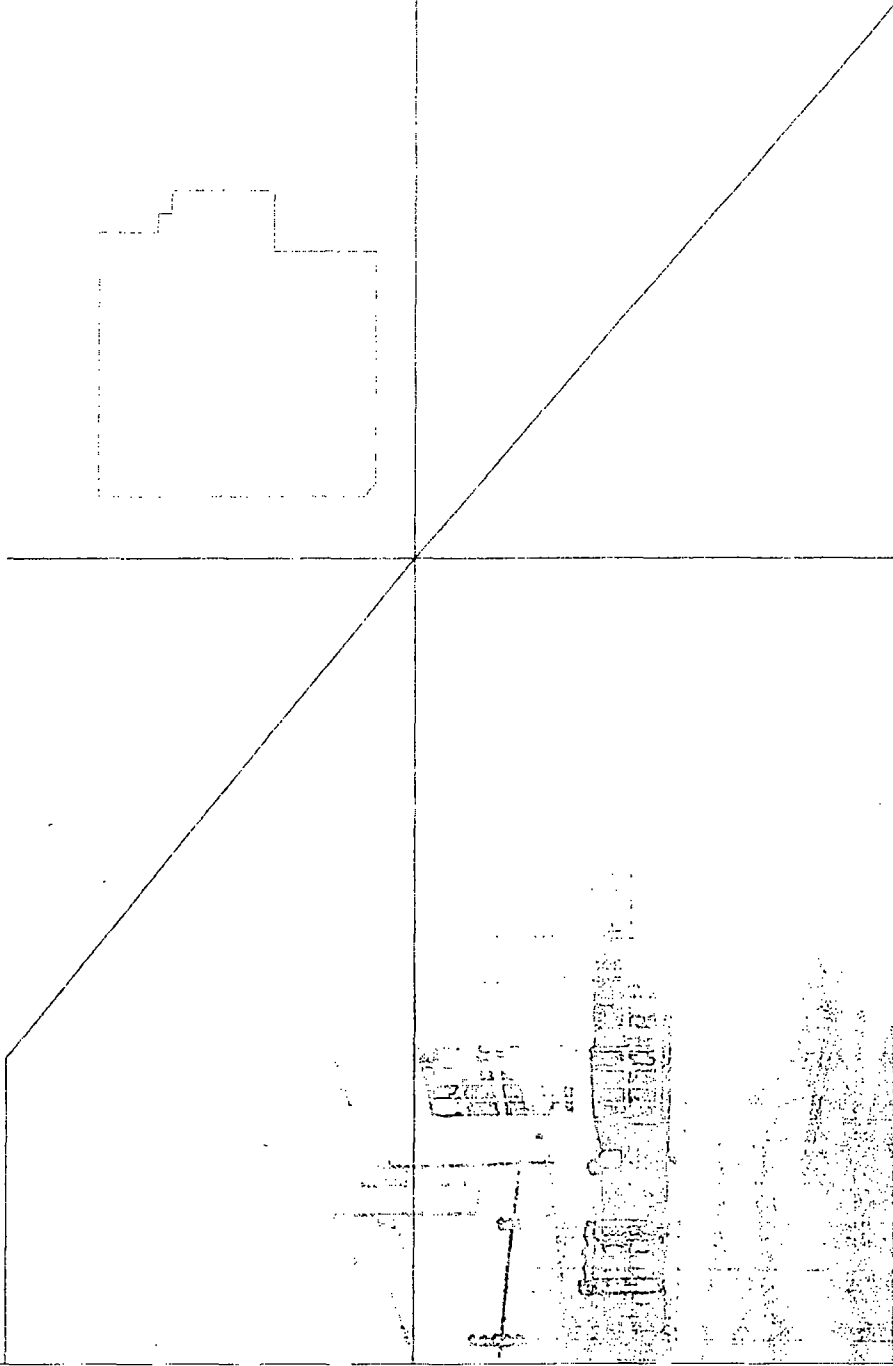
EXISTING ALTERATION

EXISTING ALTERATION



EXISTING ALTERATION

FINAL FOR
PUBLICATION



SIX CORNERS MIXED-USE

NOVAK
DEVELOPMENT

MG2

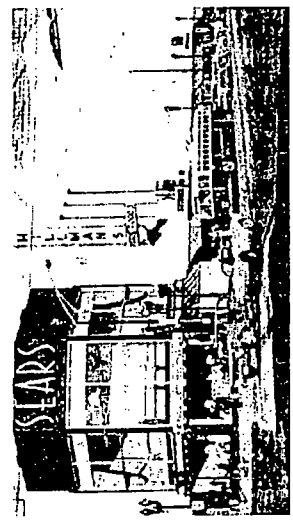
APPLICATION REVIEW August 12, 2021

TABLE OF CONTENTS

FINAL FOR PUBLICATION

PROJECT DESCRIPTION	1	LEVEL 2 FLOOR PLAN	25
VICINITY PLAN	2	LEVEL 3 FLOOR PLAN	26
SUBAREA PLAN	3	LEVEL 4 FLOOR PLAN	27
SURVEY	4	LEVEL 5 FLOOR PLAN	28
ZONING ANALYSIS	5	LEVEL 6 FLOOR PLAN	29
CONTEXT PHOTOS	6	OVERALL UNIT MATRIX	30
SIX CORNERS MASTER PLAN GOALS	7	SOUTH ELEVATION	31
TRANSIT-SERVED VICINITY MAP	8	WEST ELEVATION	32
PROXIMITY TO TRANSIT	9	NORTH ELEVATION	33
LAND USE / ZONING MAP	10	EAST ELEVATION	34
SITE CIRCULATION	11	BUILDING SECTION	35
STREET LEVEL USE	12	STREETSCAPE ELEVATION	36
EXISTING DEMOLITION	13	STREETSCAPE ELEVATION	37
MASSING STUDY	14	MATERIAL BOARD	38
MASSING STUDY	15	FACADE SECTION A	39
MASSING STUDY	16	FACADE SECTION B	40
AERIAL VIEW	17	STREET LEVEL DEMOLITION PLAN	41
STREET LEVEL VIEW	18	STREET LEVEL LANDSCAPE PLAN	42
CUYLER RESIDENTIAL ENTRY	19	ENLARGED CUYLER AVE LANDSCAPE PLAN	43
IRVING PARK RESIDENTIAL ENTRY	20	CUYLER AVENUE SECTION	44
CUYLER AVENUE STREET LEVEL VIEW	21	LEVEL 2 COURTYARD PLAN	45
SITE PLAN	22	AMENITY DECK LANDSCAPE PLAN	46
BASEMENT FLOOR PLAN	23	SUSTAINABILITY MATRIX	47
LEVEL 1 FLOOR PLAN	24		

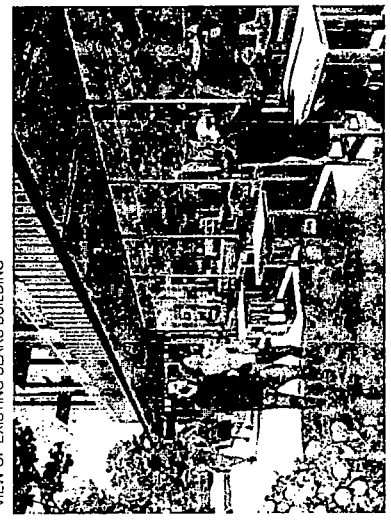
PROJECT DESCRIPTION



HISTORIC SEARS BUILDING



VIEW OF EXISTING SEARS BUILDING



CONCEPTUAL STORE FRONT VIEW

Six Corners has enjoyed a long history as a successful neighborhood shopping and entertainment district serving the residents of Portage Park and the neighboring Northwest Side. The proposed project aims to continue the legacy of the previous Sears Building by adapting the structure to a multifamily residential project with retail on the ground floor.

The proposed project will provide 201 market-rate for rent apartments, plus 6 affordable (ARO) units

As an adaptive-reuse project, the existing Art Deco structure will see facade and storefront upgrades, including a new 5-story addition along N Cicero Avenue. This will extend the street edge activation along N Cicero Ave and provide residential units for the project and approximately 50,000 square feet of ground floor retail space. A fifth residential floor is proposed over the existing 4-story structure, and a rooftop amenity deck is located on the 6th floor. This will include approximately 7,000 sf amenity space along with a pool and outdoor spaces

A 2-story garage is proposed to supplement the parking in the existing basement. There will be a total of 186 parking spaces for the residents and 89 parking spaces for the retail customers. There are no changes to the existing street parking along W Irving Park Avenue, except for a dedicated loading zone/drop off area in front of the residential lobby to replace existing parking

Vehicular access to the site is limited to W Cuyler Avenue and N Kilpatrick Avenue, allowing for a continuity in the pedestrian experience along N Cicero Ave and W Irving Park Ave, which are both designated as pedestrian streets. This reinforces the pedestrian patterns and enhances the pedestrian environment to safely circulate around the shopping district.

There are 4 proposed loading berths for the project along N Kilpatrick Ave and 207 bicycle parking stalls located in the basement, providing one bicycle stall for every unit. There will not be any changes to the two bus stops on the block.

Open spaces are critical for creating healthy spaces in multifamily residential projects and the project proposes a landscaped courtyard on the 2nd floor and more open space on the rooftop amenity deck which will provide the added benefit of improving stormwater management, reducing urban heat island effect and improving air quality

The proposed project will restore the existing Sears Building at this prominent Six Corners location, attract more retail stores and businesses by appealing to both locals and visitors alike. It will provide an additional residential base for the neighborhood and help anchor the Six Corners as a neighborhood hub that is an extension of the social life of the district and improve the quality of life for the community.

Novak Development has participated in meetings with the Boards of the local community groups and the community at large and the response to the project has been overwhelmingly positive

VICINITY PLAN

FINAL FOR PUBLICATION

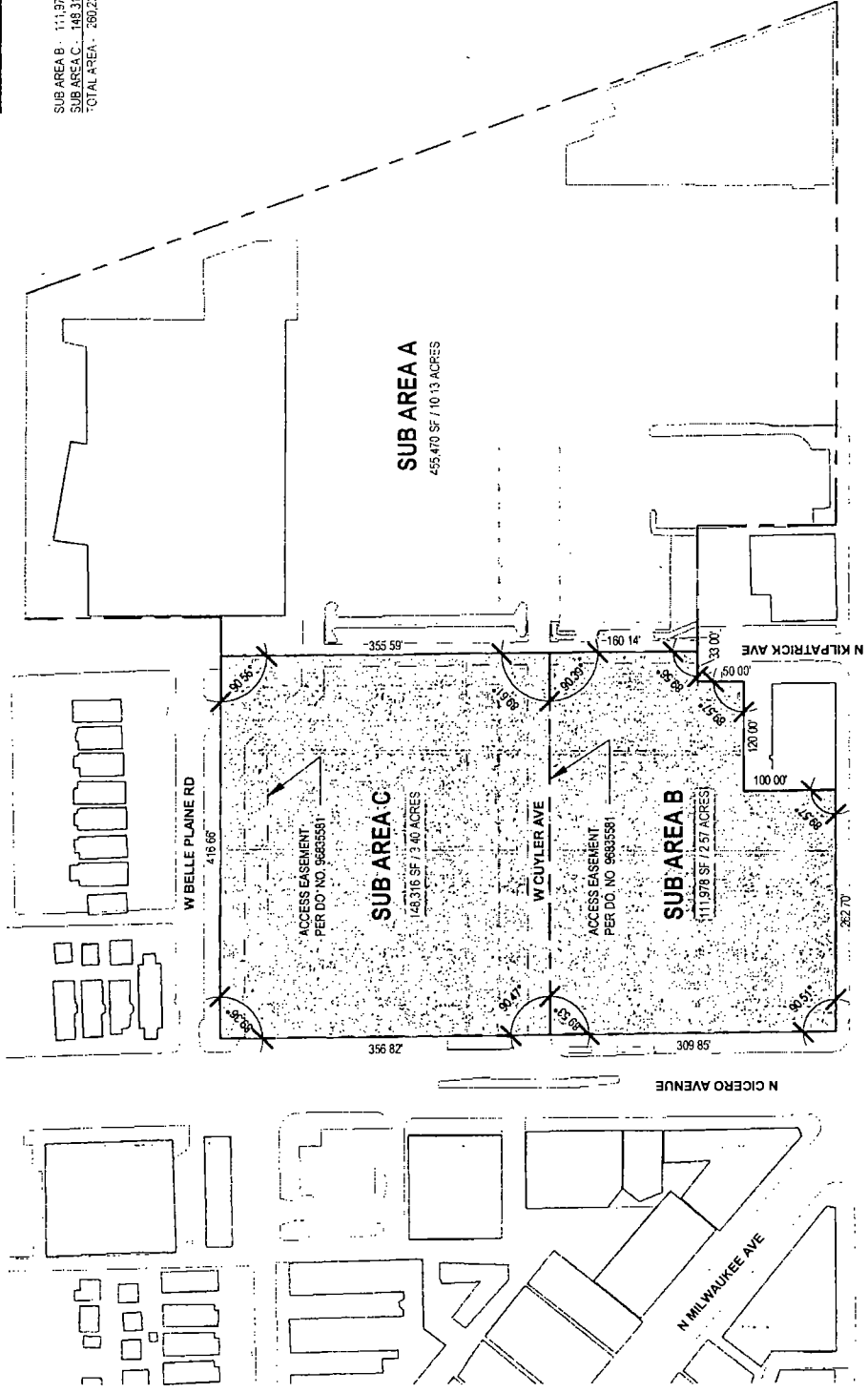


FINAL FOR PUBLICATION

SITE AREA - PARCEL B

SUB AREA B - 111,978 SF 2.57 ACRES
SUB AREA C - 148,316 SF 3.40 ACRES
TOTAL AREA - 260,294 SF 5.97 ACRES

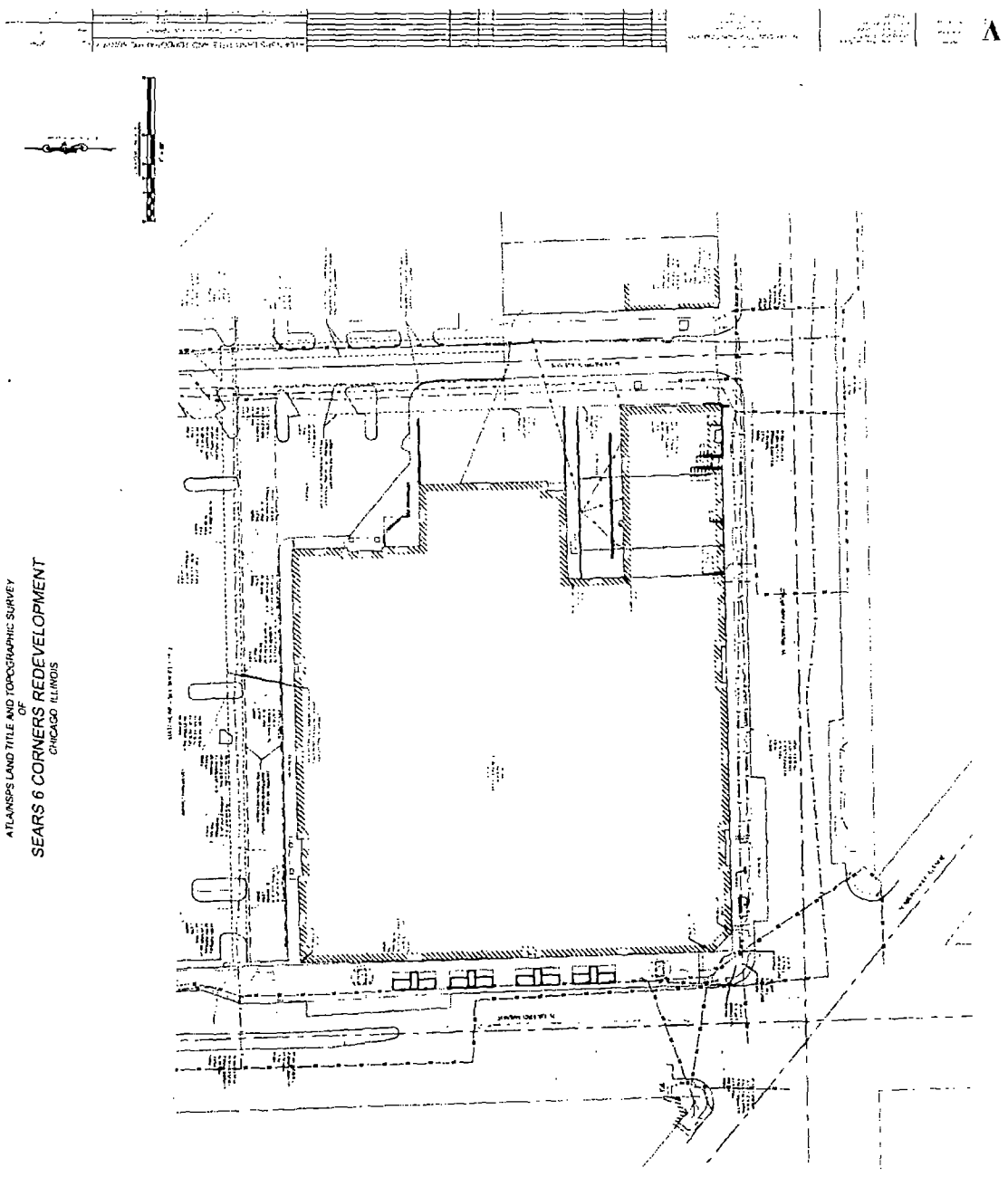
SUBAREA PLAN



FINAL FOR PUBLICATION

SURVEY

ATLANSAS LAND TITLE AND TOPOGRAPHIC SURVEY
OF
SEARS 6 CORNERS REDEVELOPMENT
CHICAGO, ILLINOIS



MG2 NOVAKO
DESIGN GROUP, INC.

SIX CORNERS MIXED-USE

APPLICATION REVIEW

August 12, 2021

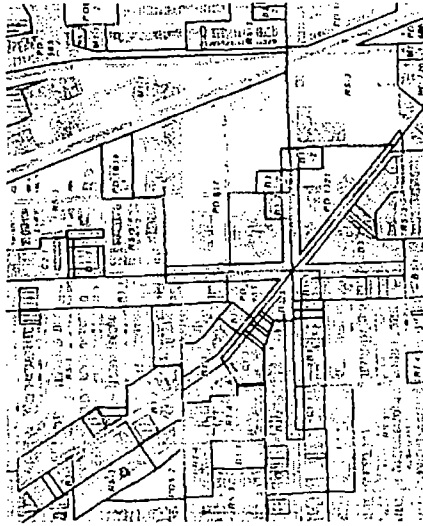
FINAL FOR PUBLICATION

PROJECT OWNER: SIX CORNERS MIXED USE DEVELOPMENT
SIX CORNERS REAL ESTATE DEVELOPMENT, LLC

EXISTING ZONING: PD #617
PROPOSED ZONING: B3-3

PROPOSED PROJECT: 111,978 (SF) 2.57 ACRES
COMMERCIAL/RESIDENTIAL

ZONING ANALYSIS



ZONING DISTRICT: PD #617

NET SITE AREA: 715,764 (SF) 16.43 ACRES

USES: COMMERCIAL

RESIDENTIAL UNITS: N/A

MINIMUM LOT AREA/UNIT: N/A

RETAIL SQUARE FOOTAGE: N/A

OFFICE SQUARE FOOTAGE: N/A

LANDMARK ELEMENTS: N/A

ACCESSORY PARKING: MULTIFAMILY: 1 SPACE PER UNIT

RETAIL: NONE FOR FIRST 10,000 SF THEN 2.5 SPACES PER 1,000 SF

NON-ACCESSORY PARKING: N/A

BICYCLE PARKING: MULTIFAMILY: 1 SPACE PER 2 AUTO SPACES

RETAIL: 1 PER 5 AUTO SPACES

MULTIFAMILY: 1 SPACE PER 200,000 SF OR PORTION THEREOF

LOADING BERTHS: N/A

RETAIL
10,000-24,999= (1) 10X25
25,000-49,999= (2) 10X50
50,000-99,999= (3) 10X50

TSL ELEMENTS: CTA BUS

MAXIMUM BASE FAR: 2.2

FRONT SETBACK: NO FRONT SETBACK REQUIRED IN B & C DISTRICTS

SIDE SETBACKS: NO SIDE SETBACKS REQUIRED IN B & C DISTRICTS

REAR SETBACKS: 30'

HEIGHT: 65'

OPEN SPACE: 2,000 SF

SUSTAINABLE FEATURES: N/A

TOTAL PROJECT COST: N/A

CONSTRUCTION JOBS: N/A

PERMANENT JOBS: N/A

Reference Chicago Zoning Ordinance

1 - 17-3-0402-B Min Lot Area/Unit Reduction for Transit Served Locations 300 SF/Dwelling Unit

2 - 17-3-0305-B Ground Floor Min Floor Area Requirement Commercial Use - at least 20% of lot area

3 - 17-10-0102-B-1 Min off-street auto parking ratios for residential uses reduced up to 50% within 2,640 feet of Metra rail station entrance and on a pedestrian street

4 - 17-3-0504-B-2 Min off-street auto parking ratios for non-residential uses reduced up to 50% within 2,640 ft of Metra rail station entrance and on a pedestrian street

5 - 17-10-0301-B No use is required to provide more than 50 bicycle parking spaces

6 - TSL - Transit Served Locations

PROPOSED PROJECT: 111,978 (SF) 2.57 ACRES
COMMERCIAL/RESIDENTIAL

300 SF/UNIT
> 23389 SF

207

565 SF/JNT
49,748

N/A

N/A

104 STALLS REQ

50 STALLS REQ

N/A

207

18

(1X)

(3X) 10x50

RETAIL
10,000-24,999= (1) 10X25
25,000-49,999= (2) 10X50
50,000-99,999= (3) 10X50

3

2.6

NO FRONT SETBACK REQUIRED
NO SIDE SETBACKS REQUIRED
NO SIDE SETBACKS REQUIRED 0' (WEST), 34'-9" (EAST)

30'

75'

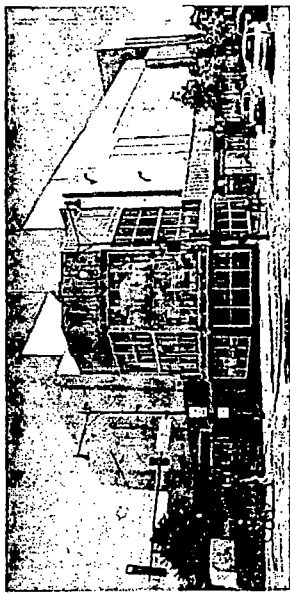
100 POINTS REQUIRED

TBD

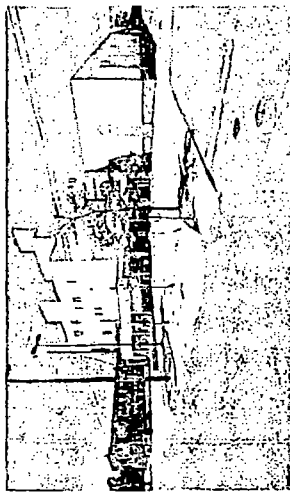
TBC

TBD

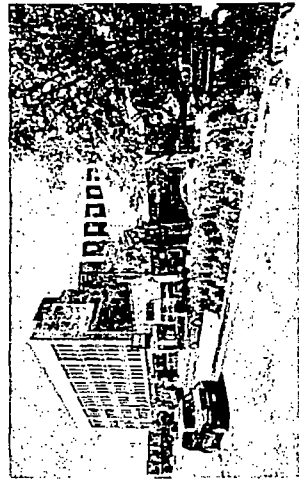
CONTEXT PHOTOS



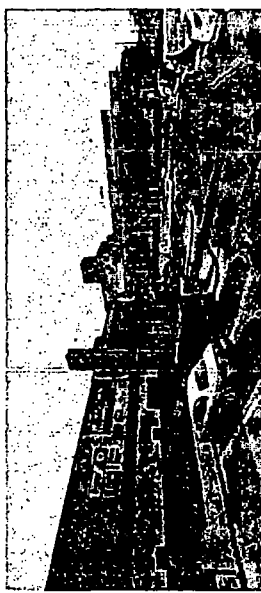
1 VIEW OF EXISTING SEARS BUILDING



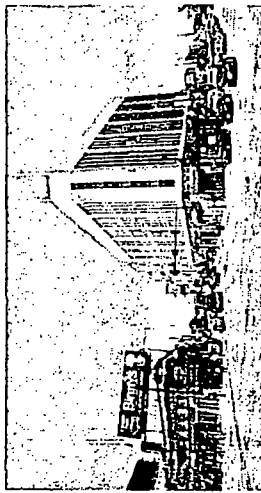
2 VIEW OF NORTH EAST CORNER OF SEARS BUILDING



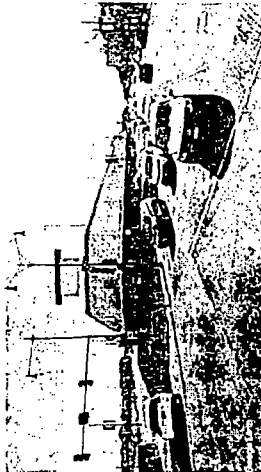
3 VIEW OF EXISTING RETAIL OFF N CICERO AVE



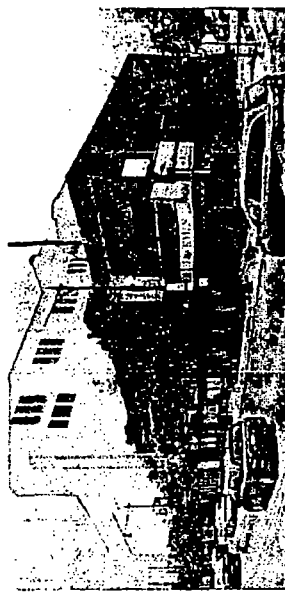
4 VIEW OF NORTH EDGE OF EXISTING SEARS BUILDING



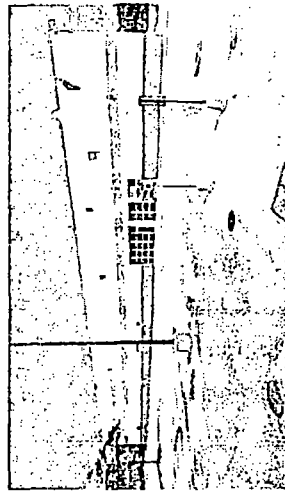
5 VIEW OF EXISTING RETAIL BETWEEN N MILWAUKEE AVE AND W IRVING PARK RD



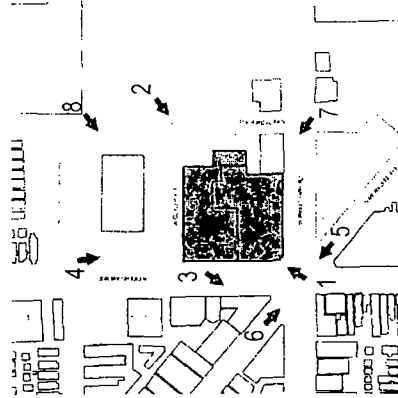
6 VIEW OF EXISTING RETAIL BETWEEN N MILWAUKEE AVE AND N CICERO AVENUE



7 VIEW OF SOUTH EAST CORNER OF SEARS BUILDING AND EXISTING RETAIL



8 VIEW OF BACK OF SEARS AUTO CENTER



SIX CORNERS MASTER PLAN GOALS

Attract more retail stores and businesses to Six Corners that appeal to the diversity of households in the area

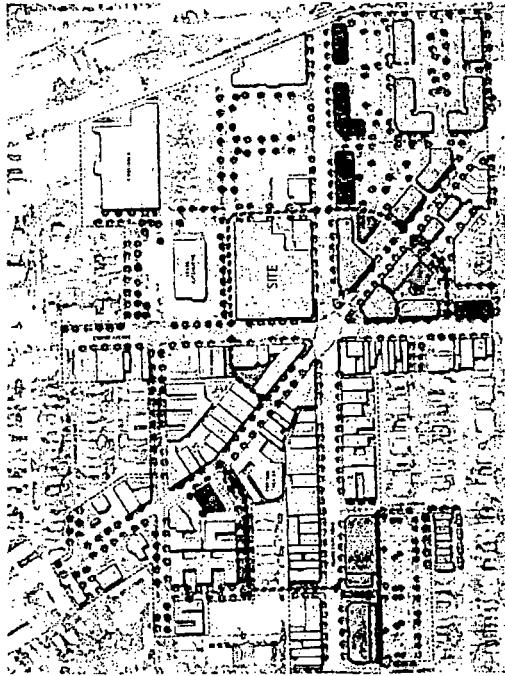
The proposed development will include approximately 50,000 square feet of ground floor retail space that is likely to include a large anchor tenant and other small shop users. The retailers will locate at the property because they want to serve the Portage Park neighborhood households

Recognize and enhance the cultural entertainment Offerings in Six Corners

The proposed development itself will enhance the cultural and entertainment offerings by improving a long-neglected corner of the Six Corners intersection. In addition, the development will have 207 residential units that will be occupied by residents who will take advantage of the Six Corners shopping, cultural and entertainment offerings

Upgrade building facade and storefront

The existing building will be completely renovated and restored, and the art deco elements will be enhanced. The new building along Cicero Avenue will extend the street level activation and complement the existing structure.



ILLUSTRATIVE PLAN FROM SIX CORNERS ECONOMIC DEVELOPMENT MASTER PLAN

Enhance the pedestrian environment, making it easier for patrons to park their cars and circulate safely around the shopping district

Vehicular access is limited to Cuyler Avenue and Kilpatrick Avenue, allowing for continuity in the pedestrian experience along Cicero Avenue and Irving Park Road, which are designated as pedestrian streets. This experience will be improved with the construction of new sidewalks, plantings, and storefronts. In addition, Cuyler will be activated with a new pedestrian corridor on the northern side of the street that will include new landscaping, decorative lighting, and decorative panels on the open-air retail parking structure. This corridor will help connect the Six Corners shopping areas. The addition of the improved Cuyler lobby and the glass enclosure at the north east corner of the parking structure will further improve the pedestrian experience at the site

Develop attractive outdoor spaces that encourage patrons to gather

The proposed development will change the look and feel of the Six Corners intersection. It improves and enhances the outdoor spaces along Cicero, Irving Park and Cuyler which will promote pedestrian traffic, interaction and gathering

Plan for the redevelopment of key opportunity sites

The proposed development redevelops and improves the anchor corner of the Six Corners intersection while also continuing the pedestrian flow of traffic along Cuyler and Kilpatrick

CONSERVE & ENHANCE

Urban design concerns the physical character and order of the city. In particular, the relationship between people and their environment. A key consideration is the balance of development and preservation.

The proposed Six Corners Mixed-Use project is an adaptive-reuse project that seeks to conserve and enhance both the physical and non-physical attributes of the neighborhood by recognizing the need to preserve the former Sears Building to highlight the history of this neighborhood.

TRANSIT-SERVED VICINITY MAP

FINAL FOR PUBLICATION



- LEGEND**
- CTA TRANS STOP - JAY/PARK/BELLE LINE
 - CTA TRAIN STOP - JENSEN PARK/ELM STREET/STATE ST/IF
 - METRA TRAIN STOP - GREAT LAKES/ROCKFORD
 - CTA BUS ROUTE 54A
 - CTA BUS ROUTE 50
 - CTA BUS ROUTE 54
 - CTA BUS ROUTE 64
 - CITY OF CHICAGO BIKE PATH
 - CTA BUS STOP - ROUTE 54A
 - CTA BUS STOP - ROUTE 54
 - CTA BUS STOP - ROUTE 56
 - CTA BUS STOP - ROUTE 54
 - CTA BUS STOP - ROUTE 54A

NOTE:
 SITE IS WITHIN 2,640' OF METRA RAIL STATION ENTRANCE ALLOWING FOR MINIMUM OFF-STREET AUTOMOBILE PARKING FOR RESIDENTIAL TO BE REDUCED BY 50% (CHICAGO MUNICIPAL CODE 17-10-01-2-B) AND TO EARN 5 POINTS FOR PROXIMITY TO TRANSIT SERVICE (CHICAGO SUSTAINABLE DEVELOPMENT STRATEGY 7.1)

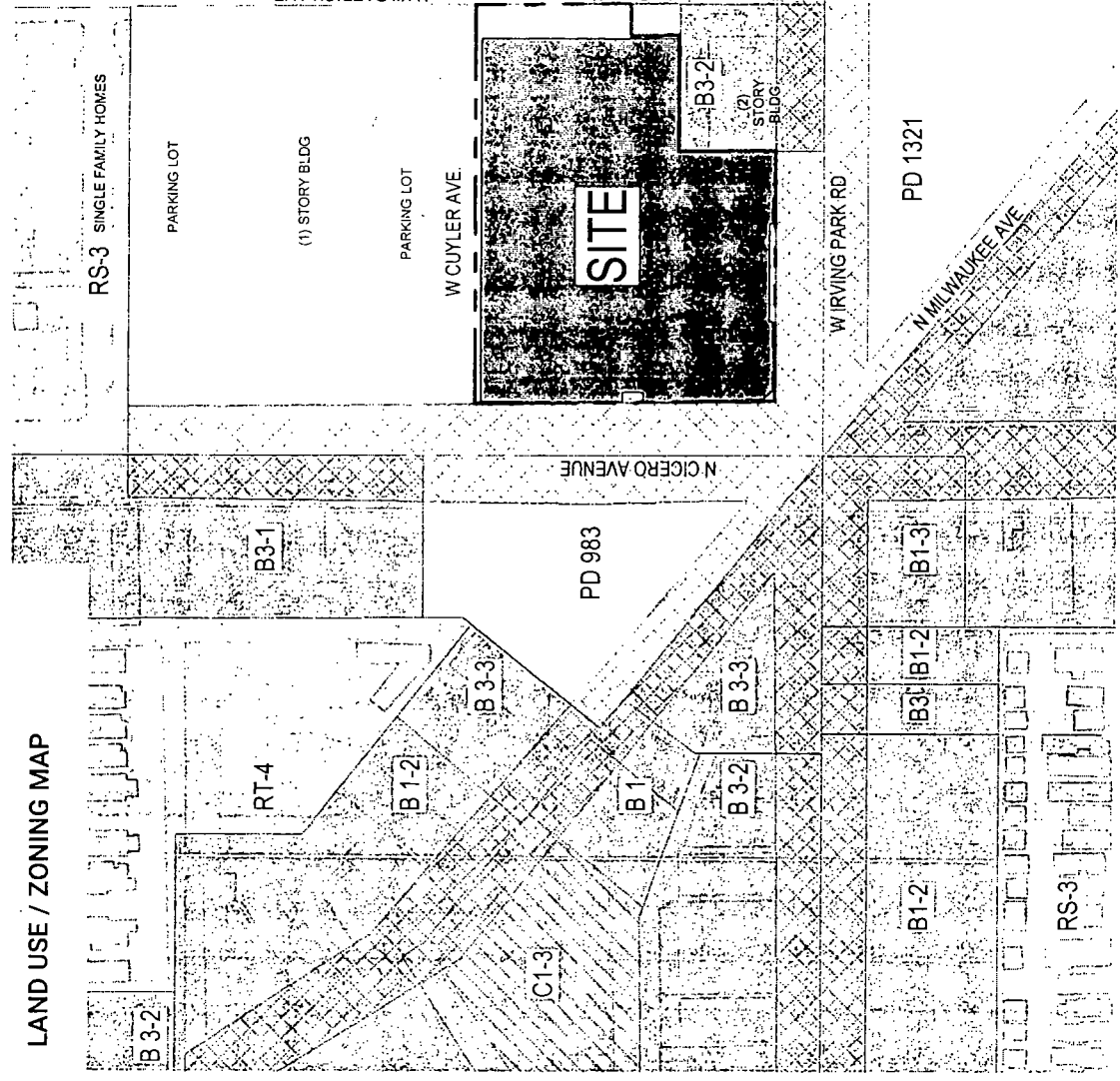
FINAL FOR PUBLICATION

LEGEND

- SITE
- PROPERTY BOUNDARY
- BUSINESS
- PLANNED DEVELOPMENT
- RESIDENTIAL
- INDUSTRIAL / MANUFACTURING
- SIX CORNER
- COMMERCIAL DISTRICT:
(CHICAGO LANDMARK - PORTAGE PARK THEATRE BUILDING)

- (1) STORY BLDG
- PARKING LOT

LAND USE / ZONING MAP



M1-1

PD 617 (1) STORY BLDG

(2) STORY BLDG RS-3

(1) STORY BLDG

RS-3 SINGLE FAMILY HOMES

SITE

PD 1321

N CICERO AVENUE

PD 983

W IRVING PARK RD

PD 1321






PD 983

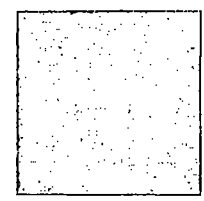
PD 983

PD 983

FINAL FOR PUBLICATION

LEGEND

-  BIKE PATH
-  PRIMARY STREET
-  SECONDARY STREET
-  TERTIARY STREET
-  BUS STOP



PARKING LOT

PARKING LOT

N KILPATRICK AVE (PRIVATE STREET)

SITE

(PEDESTRIAN STREET)

W IRVING PARK RD (PEDESTRIAN STREET)

N KILPATRICK AVE

PARKING LOT

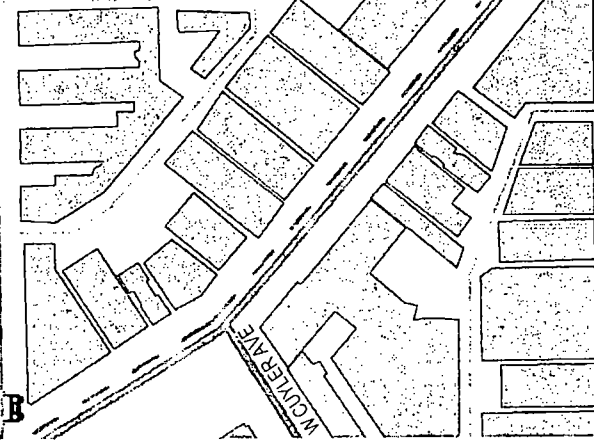
N MILWAUKEE AVE

SITE CIRCULATION

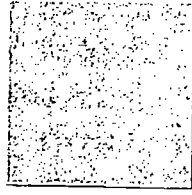
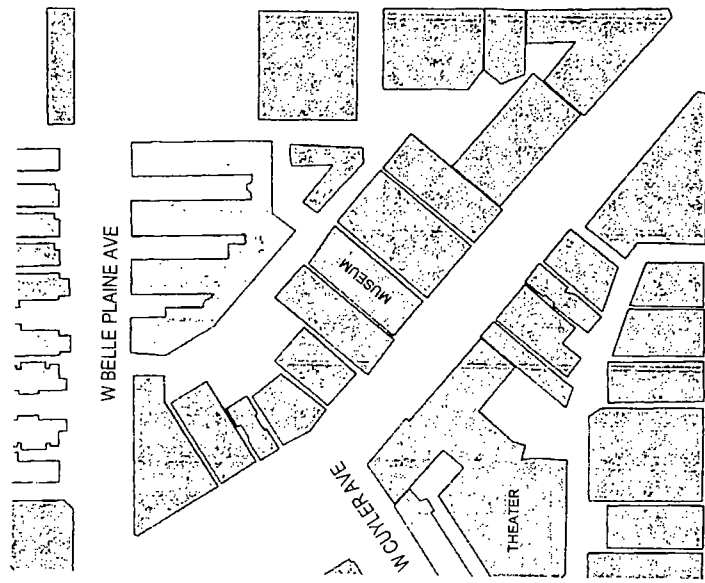
W BELLE PLAINE AVE

N CICERO AVENUE

W CUYLER AVE (PRIVATE STREET)



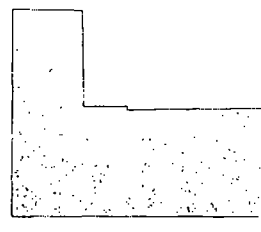
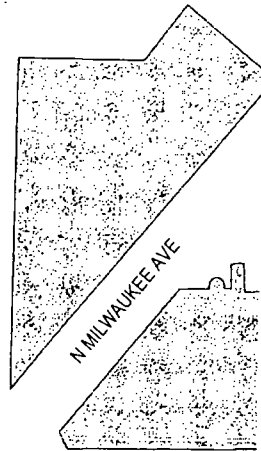
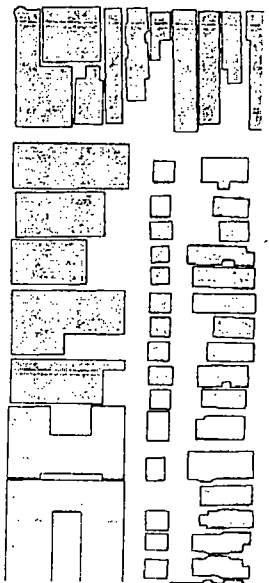
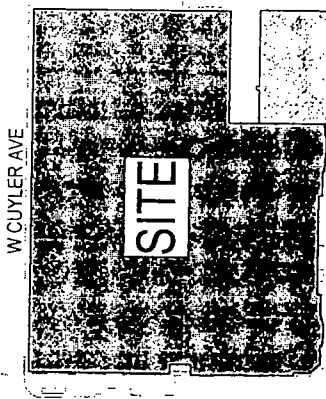
STREET LEVEL USE



FINAL FOR PUBLICATION

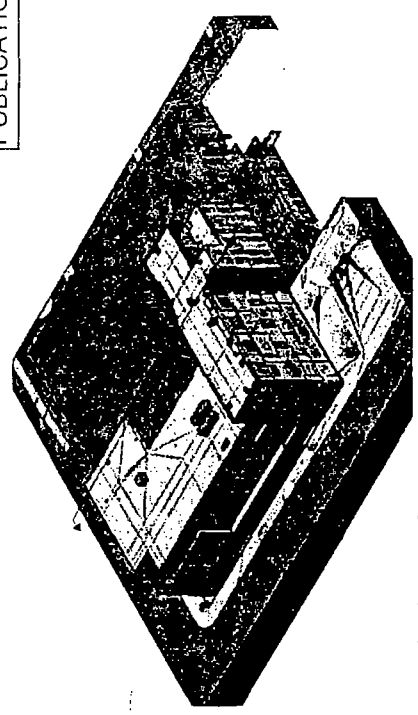
LEGEND

- COMMERCIAL
- RESIDENTIAL
- CULTURAL
- PARKING LOT

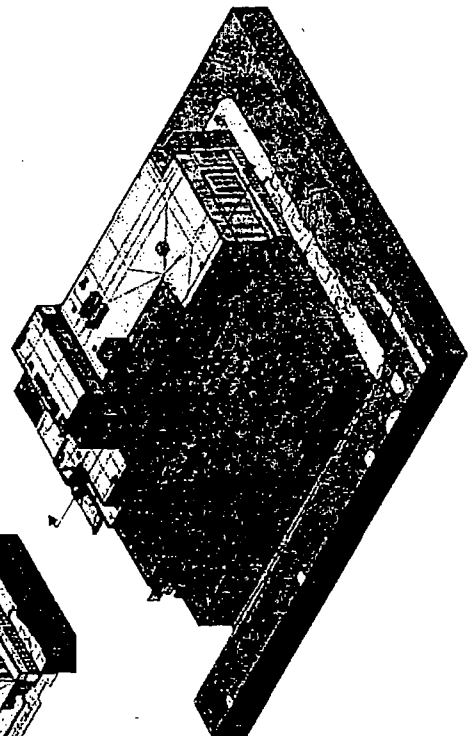


FINAL FOR PUBLICATION

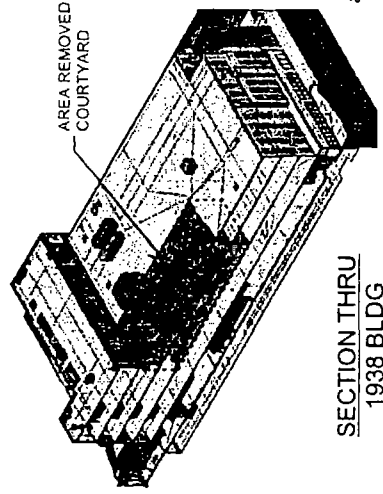
EXISTING DEMOLITION



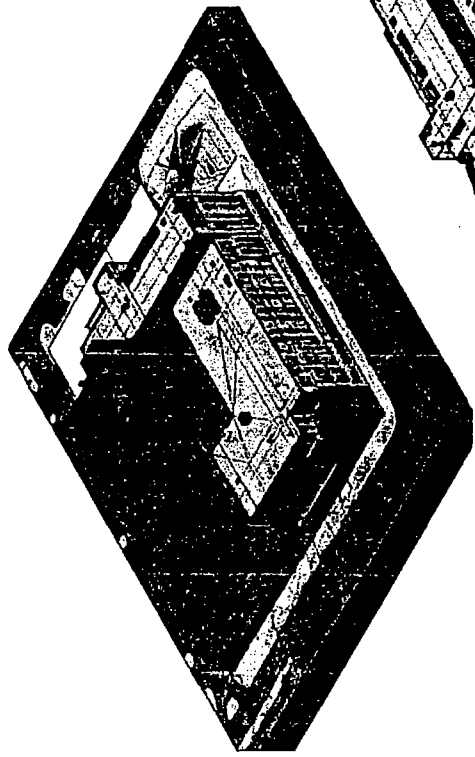
SE CORNER



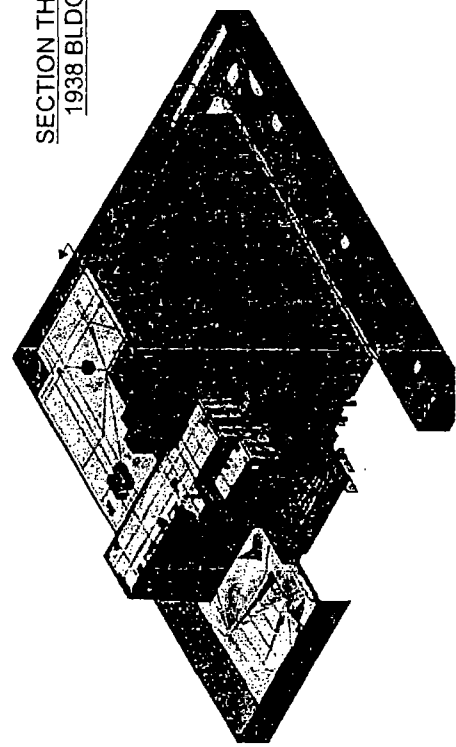
NW CORNER



SECTION THRU
1938 BLDG



SW CORNER



NE CORNER

MASSING STUDY

DEMO PORTION OF SEARS BUILDING, VARIES PER SCHEME

DEMO EXISTING 1970 ADDITION

EXISTING BUILDING TO REMAIN, MAXIMIZES STREET PRESENCE & OPTIMIZES LAYOUT FOR RESIDENTIAL UNITS

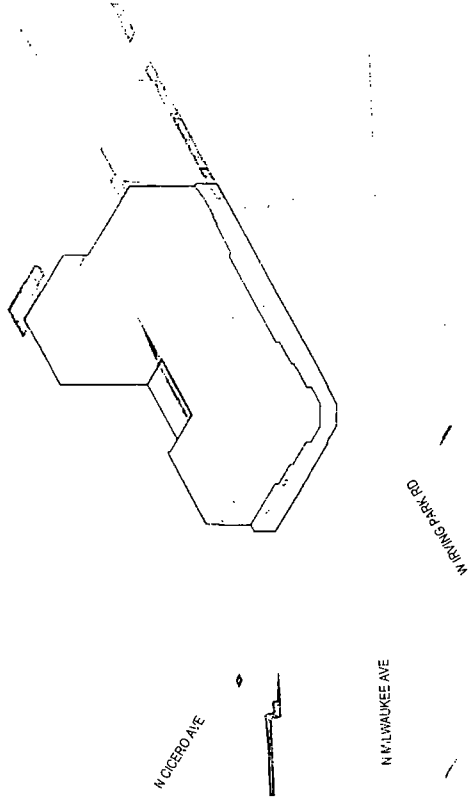
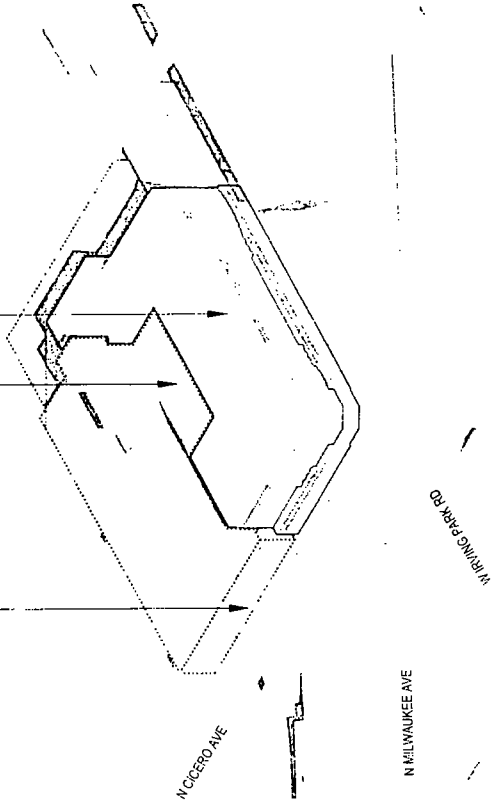


DIAGRAM - DEMOLITION

The preservation of the original Art Deco structure begins with the demolition of a 1970's addition and portions of the original that do not conform to the adaptive reuse of a residential building.

DIAGRAM - EXISTING BUILDING TO REMAIN

The design begins with the original Art Deco structure fronting both W Irving Park Road and N Cicero Avenue.

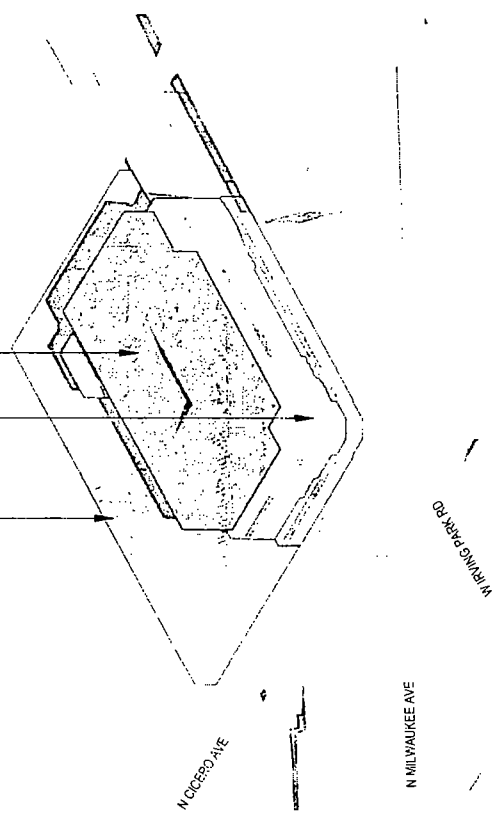
See page 13 for detailed description of extent of demo scope

MASSING STUDY

EXISTING BUILDING WITH STREET-LEVEL RETAIL AND MULTI-FAMILY RESIDENTIAL ABOVE

DEMO EXISTING 1970'S BUILDING. REPLACE W/ NEW PARKING GARAGE

DEMOLITION OF EXISTING BUILDING AT COURTYARD

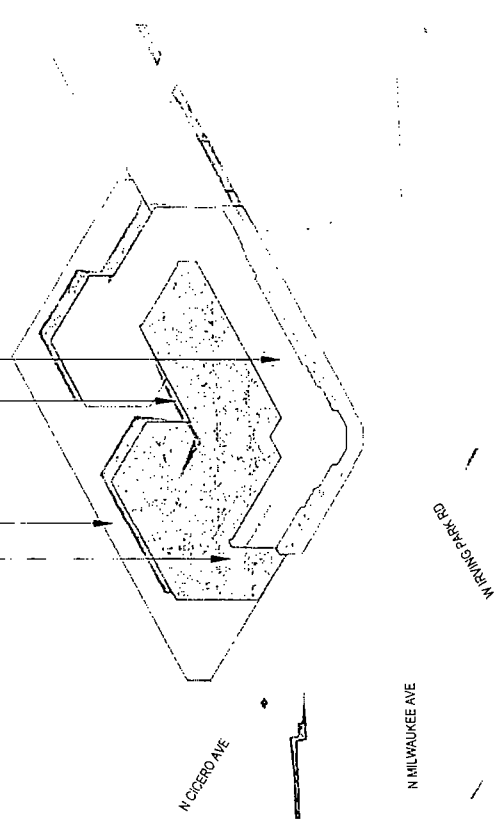


DEMO EXISTING 1970'S BUILDING. REPLACE W/ NEW PARKING GARAGE

BUILDING ADDITION PROVIDES STREET LEVEL ACTIVATION ALONG N CICEERO AVE

PARTIAL DEMOLITION OF EXISTING BUILDING AT COURT YARD

EXISTING BUILDING WITH STREET-LEVEL RETAIL AND MULTI-FAMILY RESIDENTIAL ABOVE



STUDY 1 - COURTYARD

Study 1 explores the viability of limiting the residential addition to only the existing building footprint

A 4-level residential addition is shown with a 2-level parking structure added to the northern portion of the site to satisfy off-street parking requirements.

With a limited addition to the original structure, the study highlighted the need to address the continuity of street-level interaction along N Cicero Avenue, which is designated a Pedestrian Street.

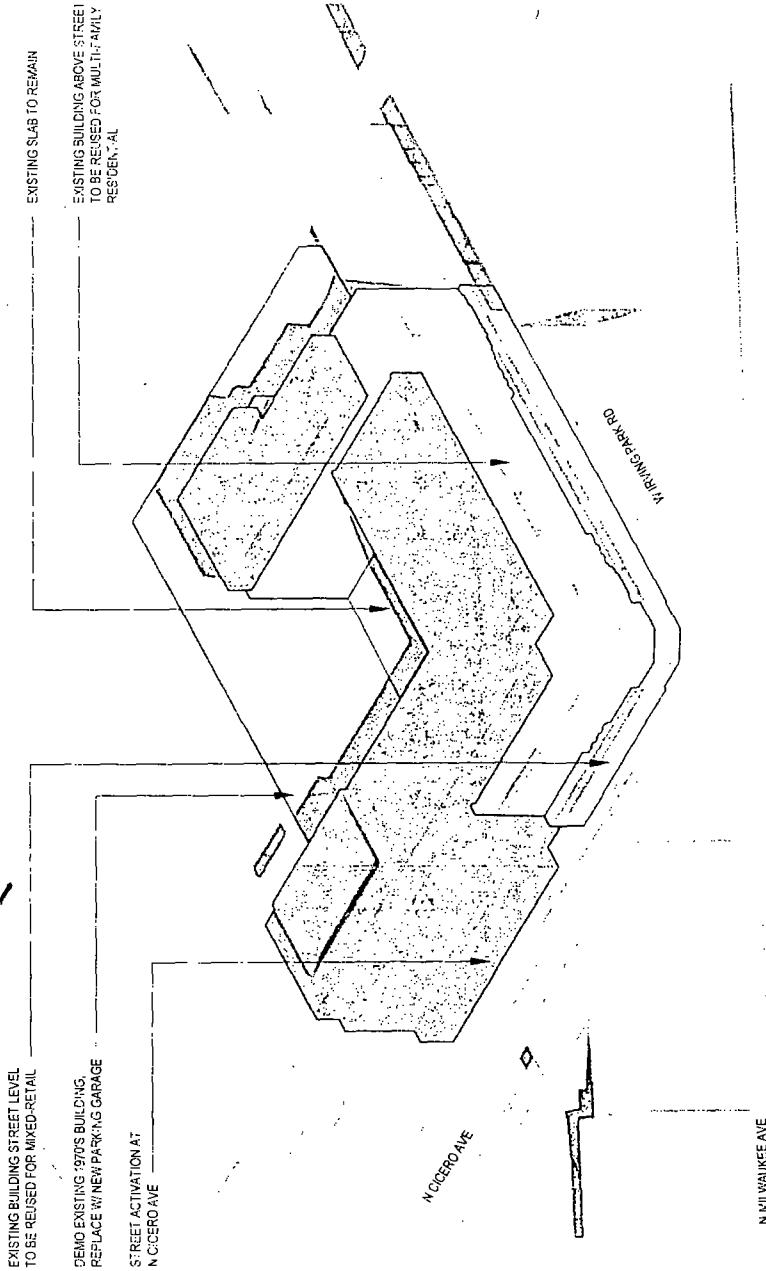
STUDY 2 - NORTH WING ADDITION

Study 2 explores the viability of demolishing a portion of the northside of existing building in order to create a double loaded residential corridor

A north wing addition is proposed to enhance the street-level interaction and pedestrian activity by expanding retail along N Cicero Avenue. This study highlights the benefit of a north wing addition which also reduces the visual impact of the parking garage addition

FINAL FOR PUBLICATION

MASSING STUDY

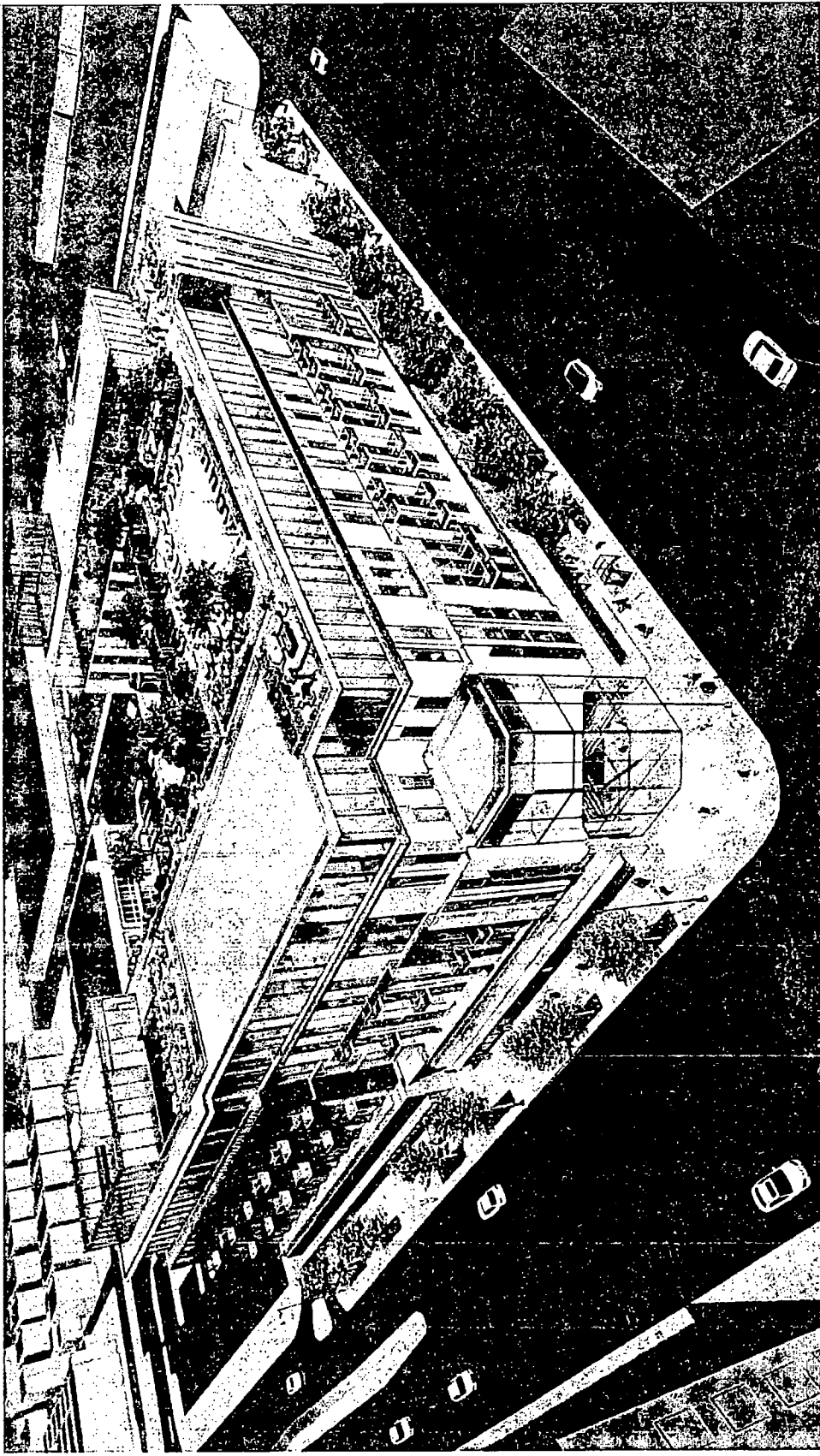


STUDY 3 - WEST WING ADDITION

Study 3 explores a 5-story west wing addition to the existing structure along N Cicero Avenue. The addition will enhance the street-level interaction and pedestrian activity by expanding the retail edges and entries along N Cicero Avenue. It will improve the walkability around the neighborhood with added overhead weather protection along both N Cicero and W Irving Park. While the west wing addition will reduce our off-street parking count, the urban design benefits outweigh the trade off.

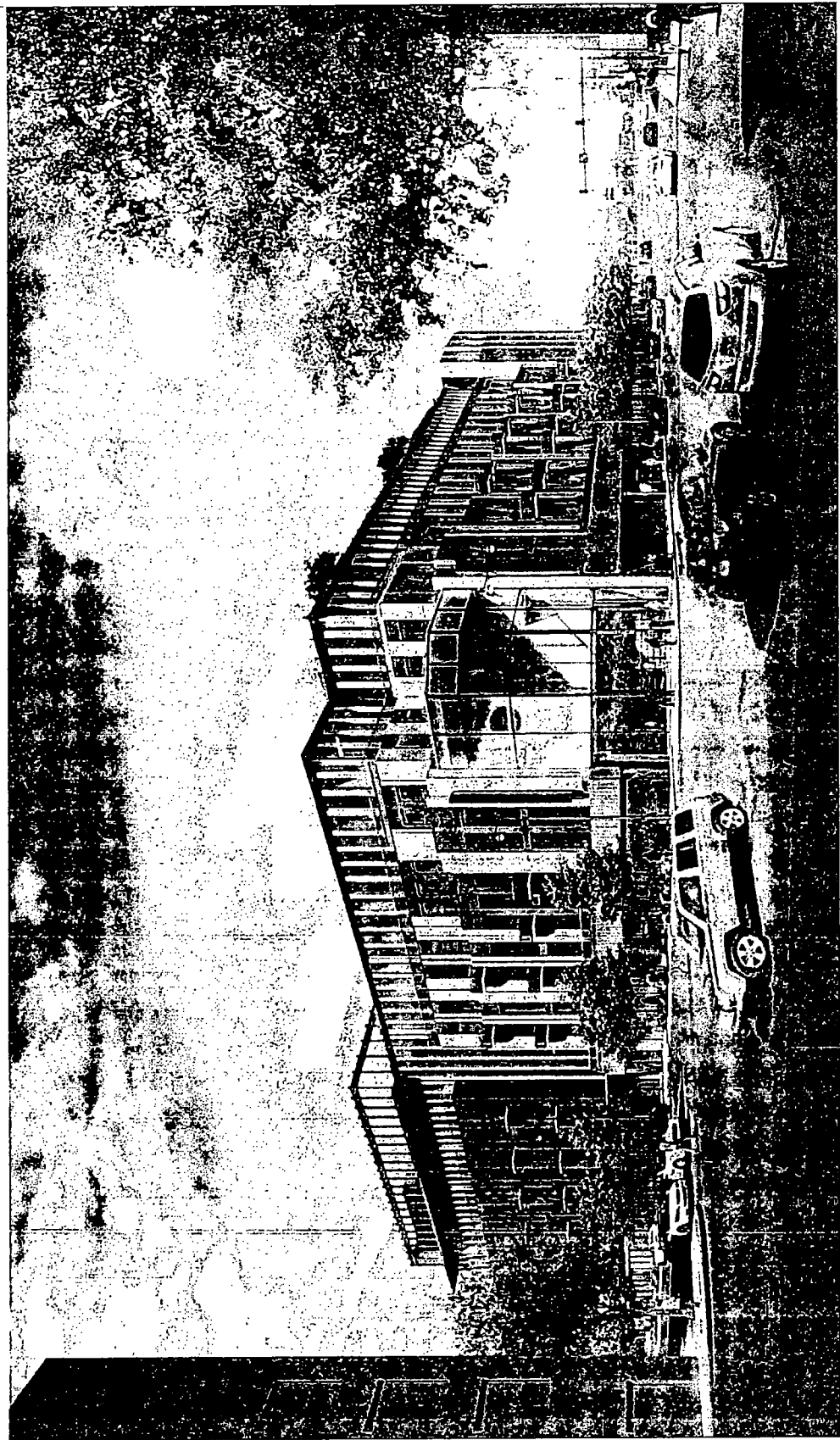
FINAL FOR PUBLICATION

AERIAL VIEW



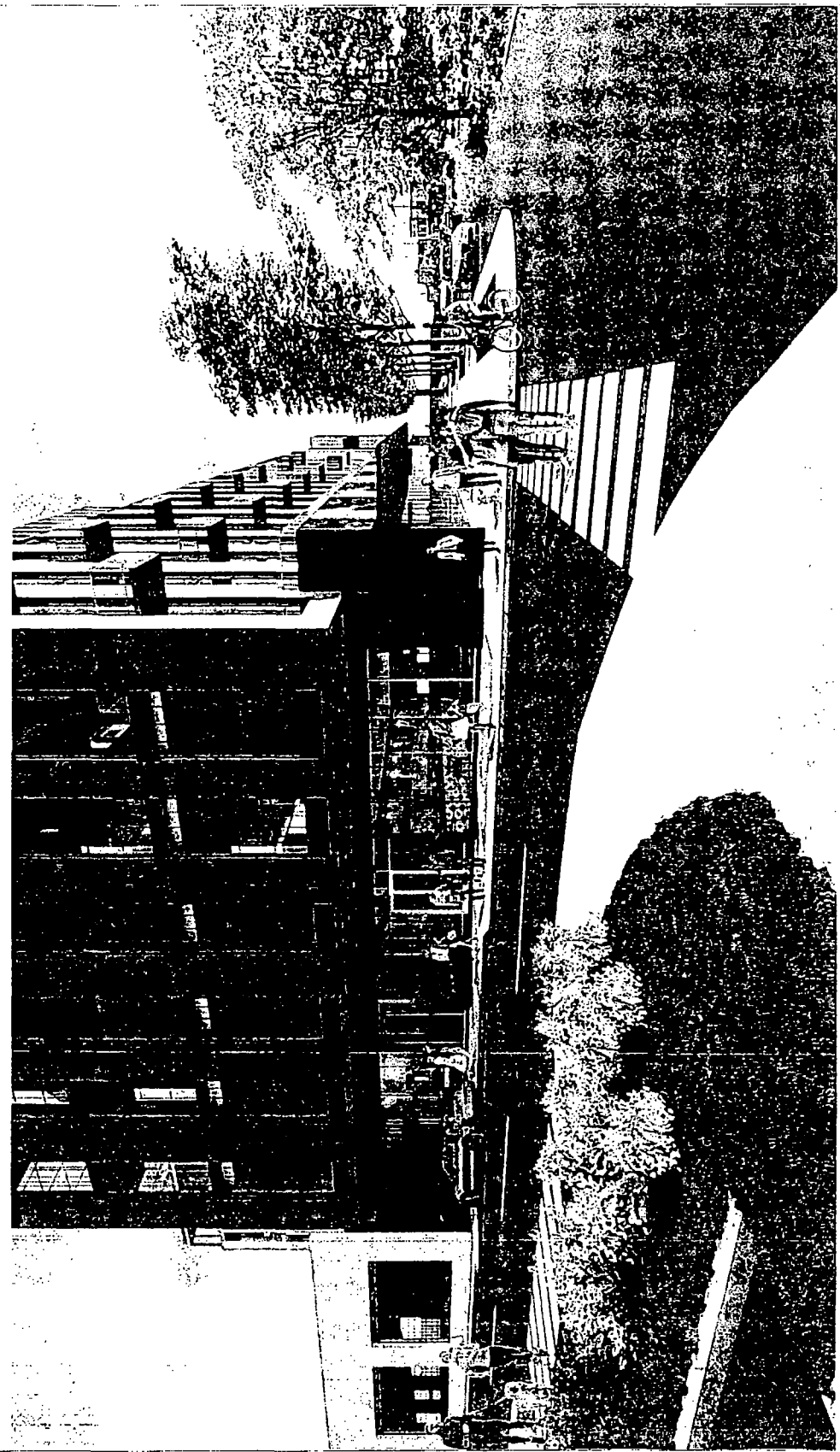
FINAL FOR PUBLICATION

STREET LEVEL VIEW



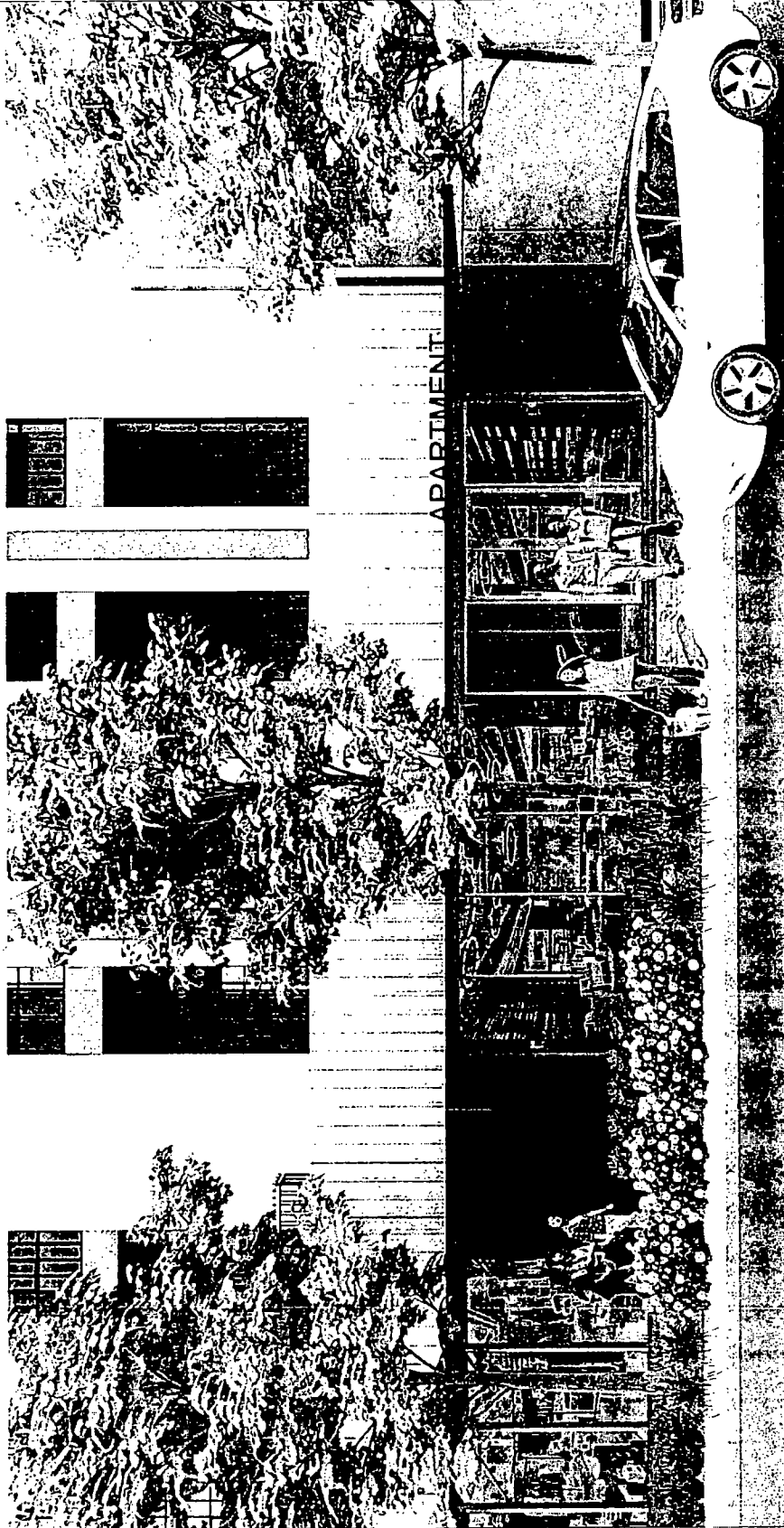
FINAL FOR PUBLICATION

CUYLER RESIDENTIAL ENTRY



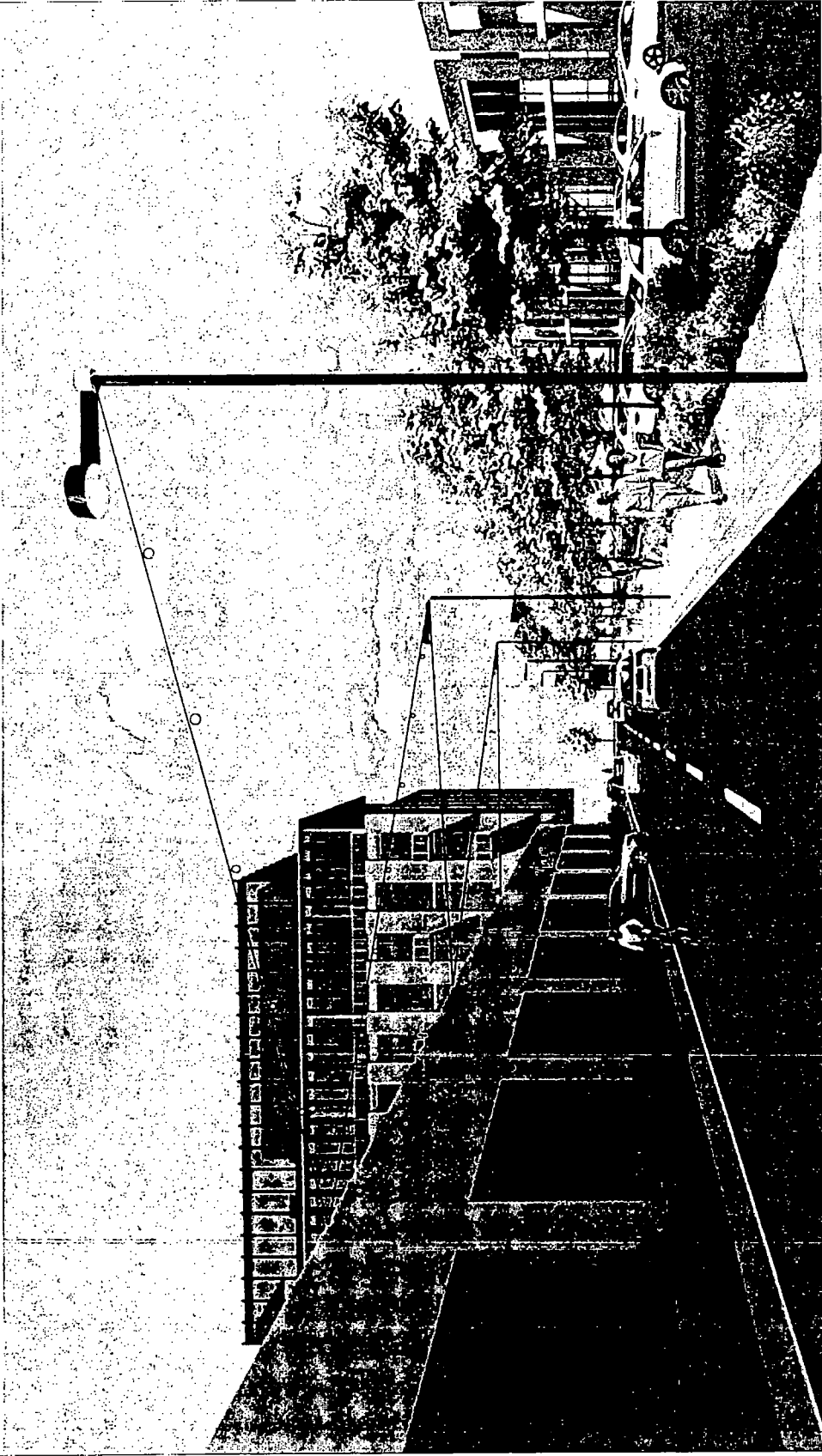
FINAL FOR PUBLICATION

IRVING PARK RESIDENTIAL ENTRY



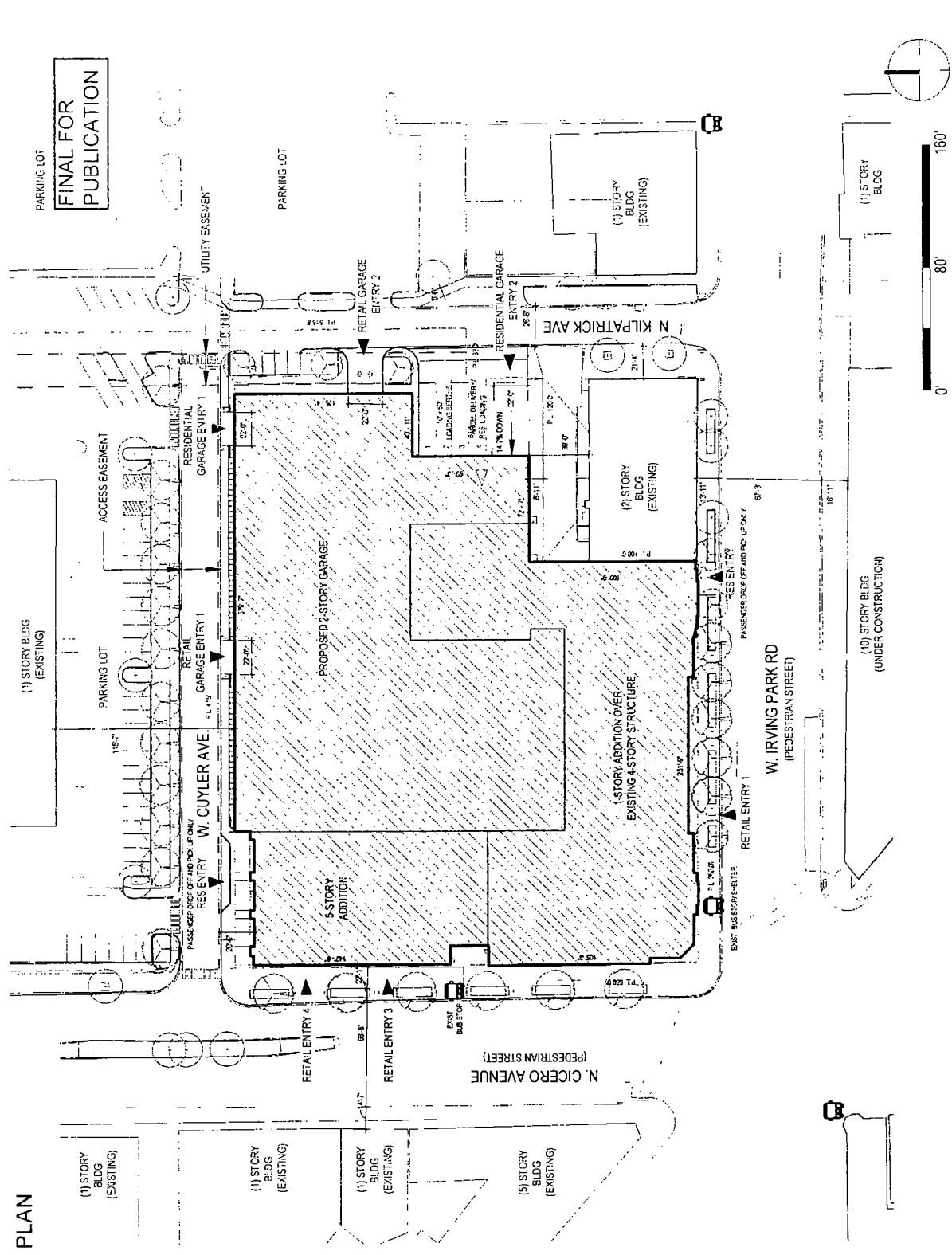
FINAL FOR PUBLICATION

CUYLER AVENUE STREET LEVEL VIEW



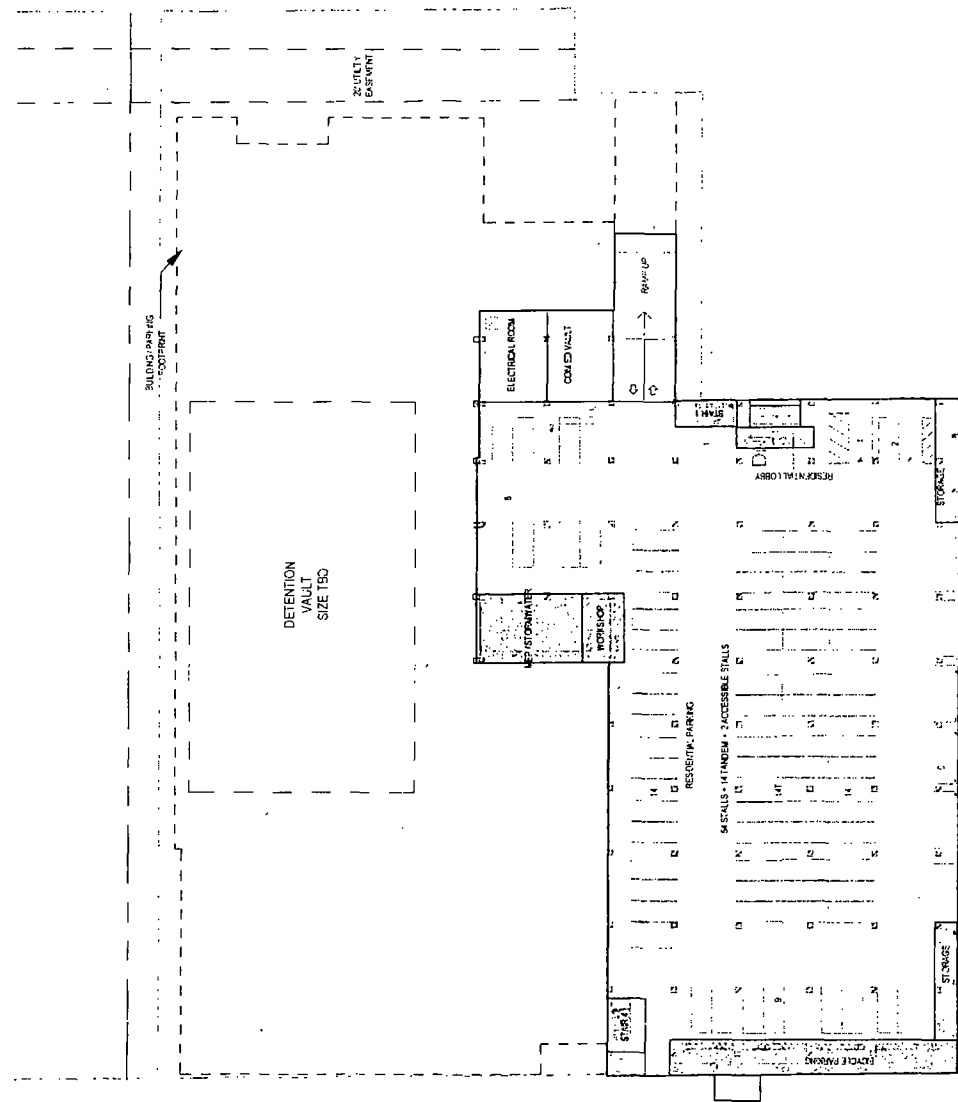
SITE PLAN

FINAL FOR PUBLICATION



FINAL FOR PUBLICATION

BASEMENT FLOOR PLAN

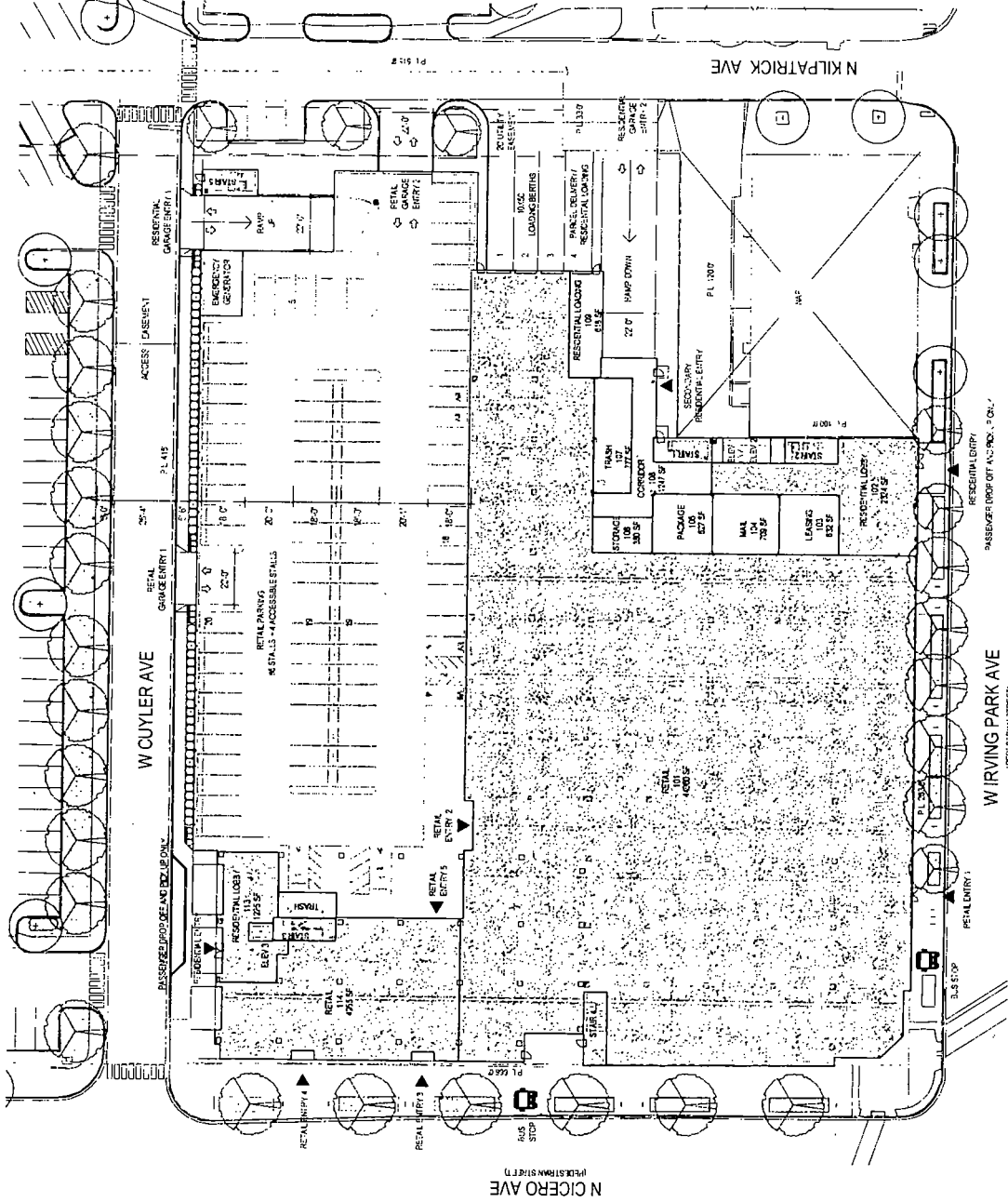


LEVEL 1 FLOOR PLAN

FLOOR	GROSS SQUARE FOOTAGE	UNITS
L1	94,056	43
L2	47,859	53
L3	47,832	53
L4	47,701	53
L5	44,982	50
L6	13,759	20
TOTAL	256,546	230

*NOTE: GFA CALCULATION INCLUDES FIRST LEVEL OF PARKING STRUCTURE AND EXCLUDES BASEMENT AND ROOF AREA.

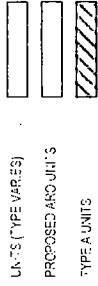
FINAL FOR PUBLICATION



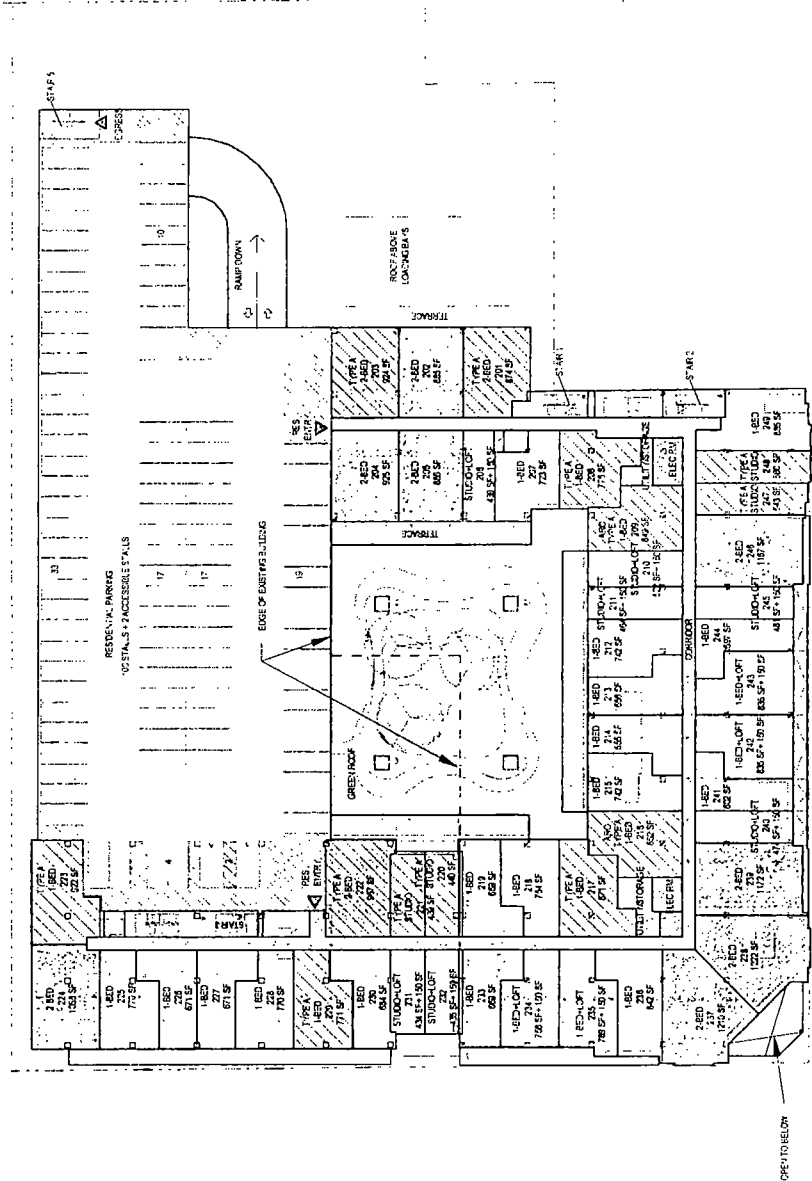
LEVEL 2 FLOOR PLAN

FLOOR	GROSS SQUARE FOOTAGE	UNITS
L1	94,055	45
L2	47,859	50
L3	47,852	50
L4	47,531	50
L5	45,582	50
L6	13,759	50
TOTAL	265,548	250

NOTE: GFA CALCULATION INCLUDES FIRST LEVEL OF PARKING STRUCTURE AND EXCLUDES BASEMENT AND ROOF AREA



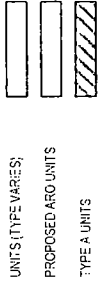
FINAL FOR PUBLICATION



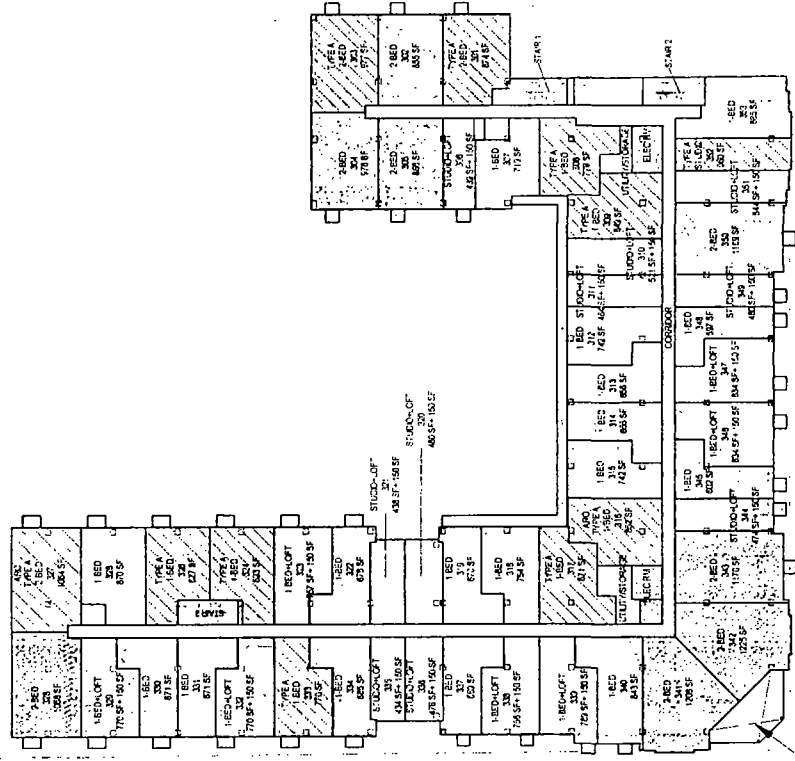
LEVEL 3 FLOOR PLAN

FLOOR	GROSS SQUARE FOOTAGE	UNITS
L1	94,058	49
L2	47,628	53
L3	47,628	53
L4	47,628	53
L5	44,952	51
L6	13,756	27
TOTAL	298,548	207

*NOTE: GFA CALCULATION INCLUDES FIRST LEVEL OF PARKING STRUCTURE AND EXCLUDES BASEMENT AND ROOF AREA.



FINAL FOR PUBLICATION



OPEN TO BELOW



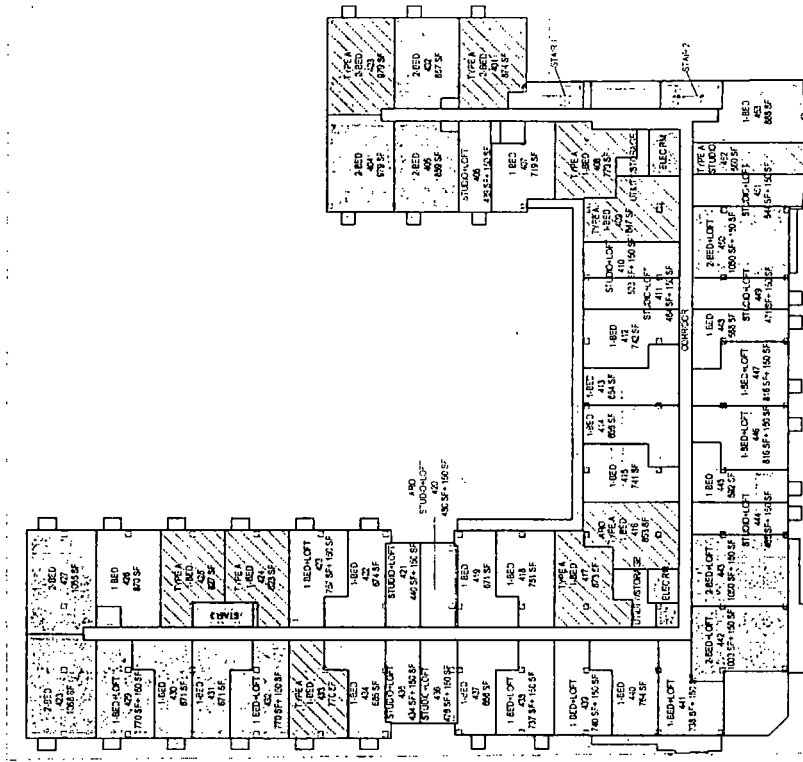
LEVEL 4 FLOOR PLAN

FLOOR	GROSS SQUARE FOOTAGE	UNITS
L1	84,066	43
L2	47,960	53
L3	47,960	53
L4	47,960	53
L5	44,690	51
L6	13,763	0
TOTAL	255,545	307

*NOTE: GFA CALCULATION EXCLUDES FIRST LEVEL OF PARKING STRUCTURE AND EXCLUDES BASEMENT AND ROOF AREA

- UNIT'S (TYPE VARIET)
- PROPOSED ARG UNITS
- TYPE 4 UNITS

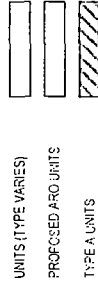
FINAL FOR PUBLICATION



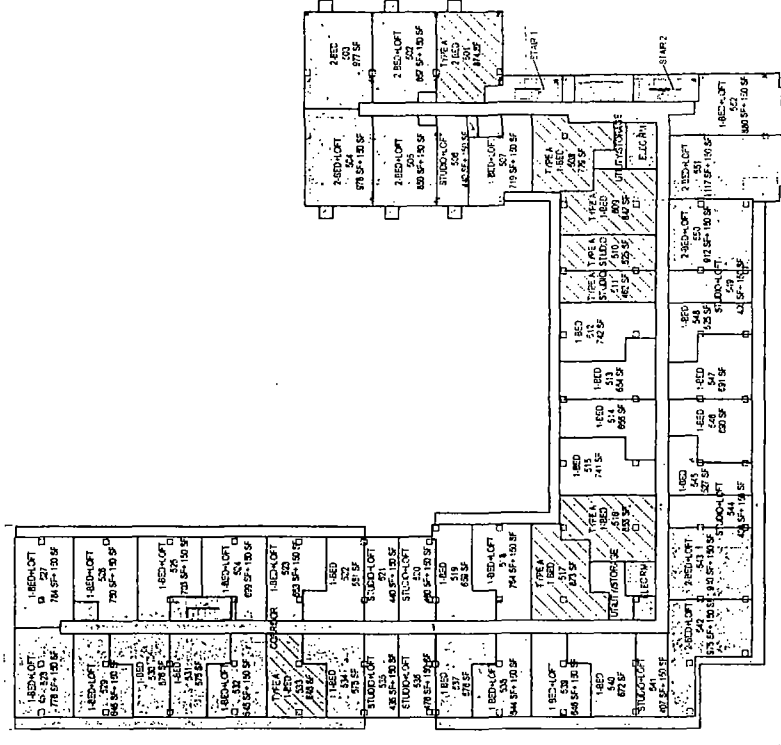
LEVEL 5 FLOOR PLAN

FLOOR	GROSS SQUARE FOOTAGE	UNITS
L1	94,055	149
L2	47,559	53
L3	47,322	53
L4	47,261	53
L5	44,822	52
L6	13,759	20
TOTAL	265,548	207

*NOTE: GFA CALCULATION INCLUDES FIRST LEVEL OF PARKING STRUCTURE AND EXCLUDES BASEMENT AND ROOF AREA.



FINAL FOR PUBLICATION

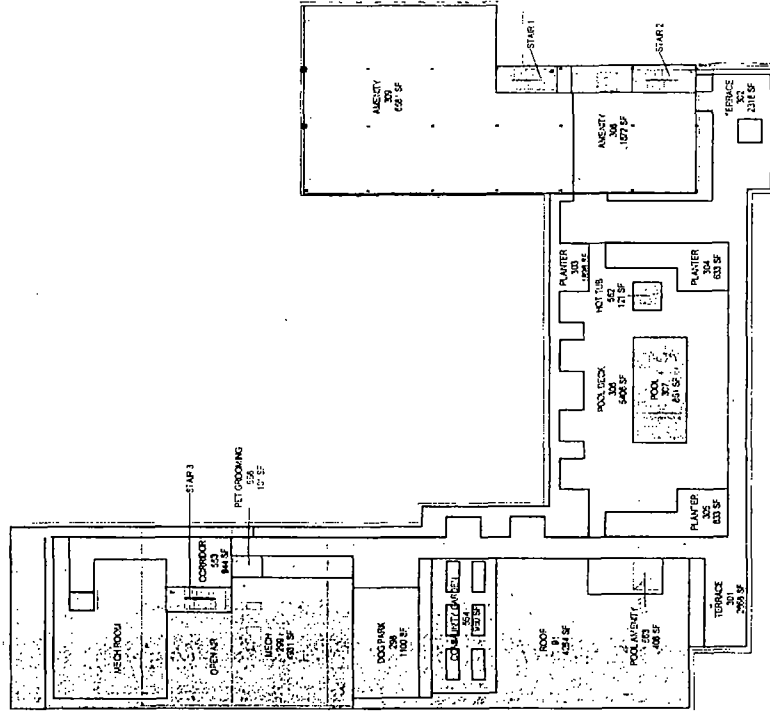


LEVEL 6 FLOOR PLAN

FLOOR	GROSS SQUARE FOOTAGE	JAKITS
L1	54,055	
L2	47,558	49
L3	47,592	53
L4	47,251	53
L5	44,592	57
L6	13,756	
TOTAL	295,548	207

*NOTE: GFA CALCULATION INCLUDES FIRST LEVEL OF PARKING STRUCTURE AND EXCLUDES BASEMENT AND ROOF AREA

FINAL FOR PUBLICATION



OVERALL UNIT MATRIX

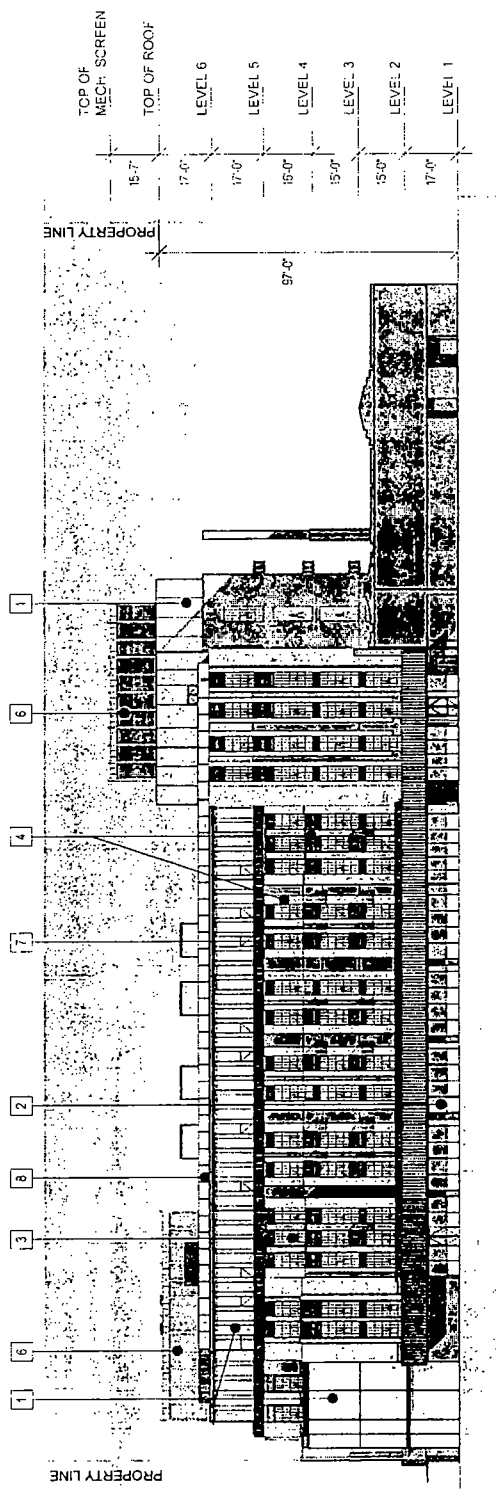
OVERALL UNIT MATRIX				
	STUDIO	1BR	2 BR	TOTALS
	554 SF - 673 SF	523 SF - 953 SF	874 SF - 1265 SF	
LEVEL 2	11	27	11	49 *
LEVEL 3	11	31	11	53 *
LEVEL 4	11	32	10	53 *
LEVEL 5	10	33	9	52 *
UNIT TOTALS	43	123	41	207
	21%	59%	20%	
TYPE A	9	25	8	42

REQUIRED TYPE A UNITS (20% TOTAL UNIT COUNT): 42 UNITS
 AFFORDABLE (ARO) UNITS (2.5% TOTAL UNIT COUNT): 6 UNITS

*150SF LOFTS ADDED TO SOME UNITS

FINAL FOR PUBLICATION

SOUTH ELEVATION



SOUTH ELEVATION

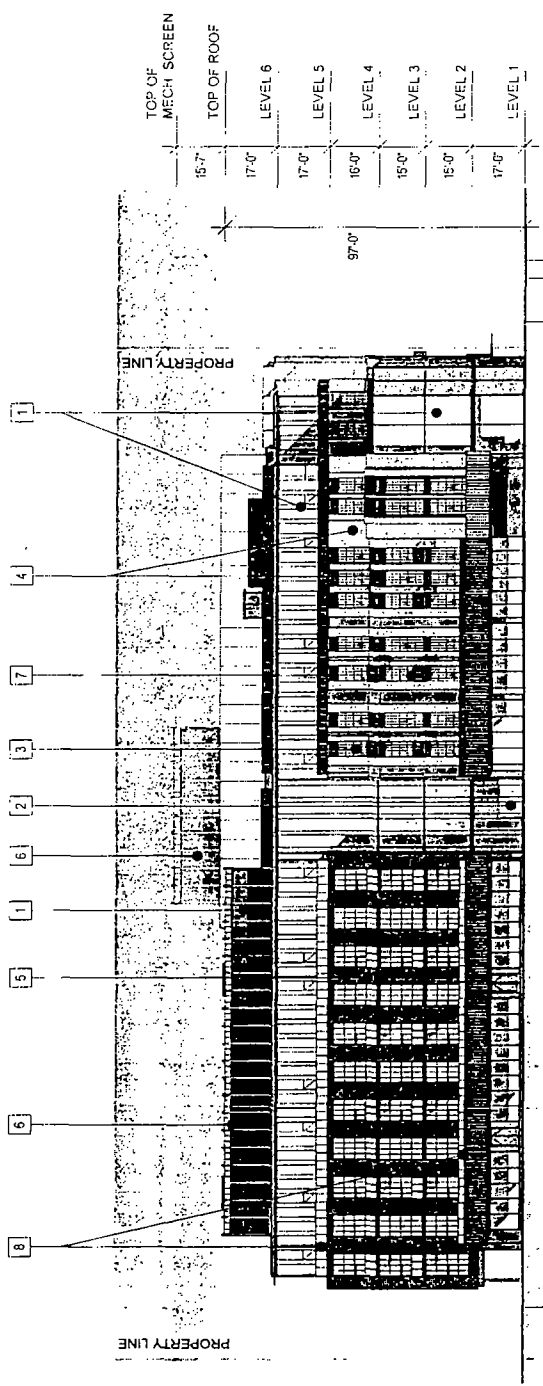
SCALE: 1" = 50'-0"

KEY LEGEND

- [1] CURTAIN WALL SYSTEM
- [2] STOREFRONT SYSTEM
- [3] NEW PUNCHED OPENINGS WITH FIBERGLASS-FRAMED GLAZING SYSTEM
- [4] EXISTING CONCRETE PANEL FINISHED WITH NEW MINERAL PAINT
- [5] BRICK VENEER
- [6] METAL ROOFTOP MECHANICAL SCREEN
- [7] METAL BALCONY
- [8] GLASS GUARDRAIL

FINAL FOR PUBLICATION

WEST ELEVATION



WEST ELEVATION

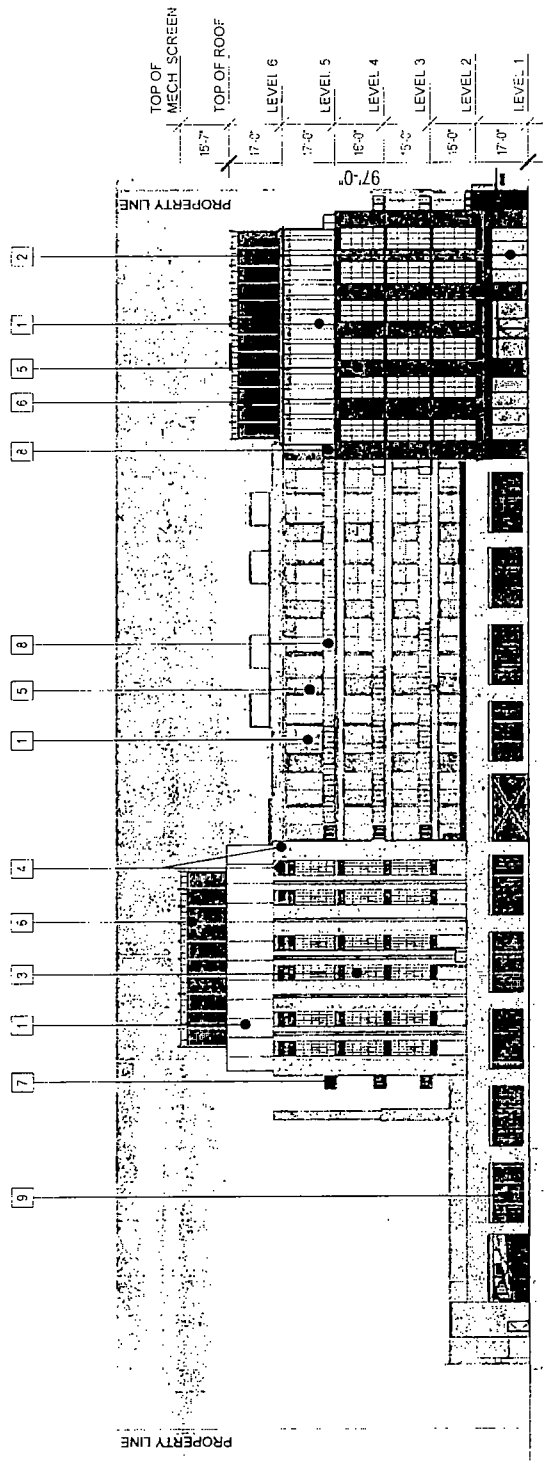
SCALE: 1" = 50'-0"

KEY LEGEND

- [1] CURTAIN WALL SYSTEM
- [2] STOREFRONT SYSTEM
- [3] NEW PUNCHED OPENINGS WITH FIBERGLASS-FRAMED GLAZING SYSTEM
- [4] EXISTING CONCRETE PANEL FINISHED WITH NEW MINERAL PAINT
- [5] BRICK VENEER
- [6] METAL ROOFTOP MECHANICAL SCREEN
- [7] METAL BALCONY
- [8] GLASS GUARDRAIL

FINAL FOR PUBLICATION

NORTH ELEVATION



NORTH ELEVATION

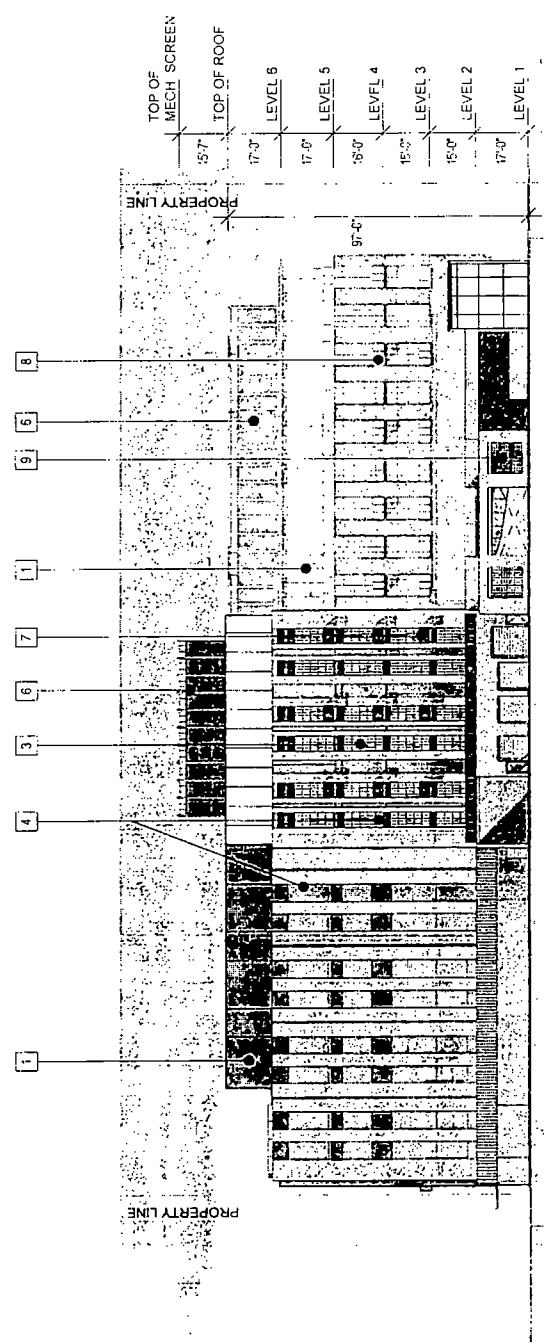
SCALE: 1" = 50'-0"

KEY LEGEND

- 1 CURTAIN WALL SYSTEM
- 2 STOREFRONT SYSTEM
- 3 NEW PUNCHED OPENINGS WITH FIBERGLASS-FRAMED GLAZING SYSTEM
- 4 EXISTING CONCRETE PANEL FINISHED WITH NEW MINERAL PAINT
- 5 BRICK VENEER
- 6 METAL ROOFTOP MECHANICAL SCREEN
- 7 METAL BALCONY
- 8 GLASS GUARDRAIL
- 9 ORNAMENTAL METAL SCREEN

FINAL FOR PUBLICATION

EAST ELEVATION



EAST ELEVATION

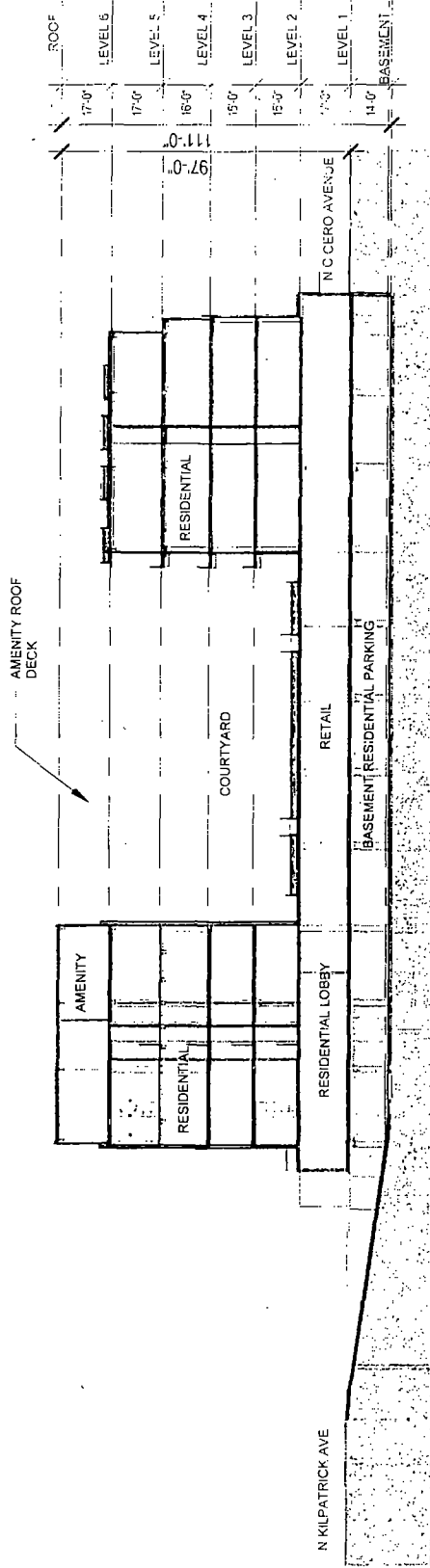
SCALE: 1" = 50'-0"

KEY LEGEND

- [1] CURTAIN WALL SYSTEM
- [2] STOREFRONT SYSTEM
- [3] NEW PUNCHED OPENINGS WITH FIBERGLASS-FRAMED GLAZING SYSTEM
- [4] EXISTING CONCRETE PANEL FINISHED WITH NEW MINERAL PAINT
- [5] BRICK VENEER
- [6] METAL ROOFTOP MECHANICAL SCREEN
- [7] METAL BALCONY
- [8] GLASS GUARDRAIL
- [9] ORNAMENTAL METAL SCREEN

BUILDING SECTION

FINAL FOR PUBLICATION

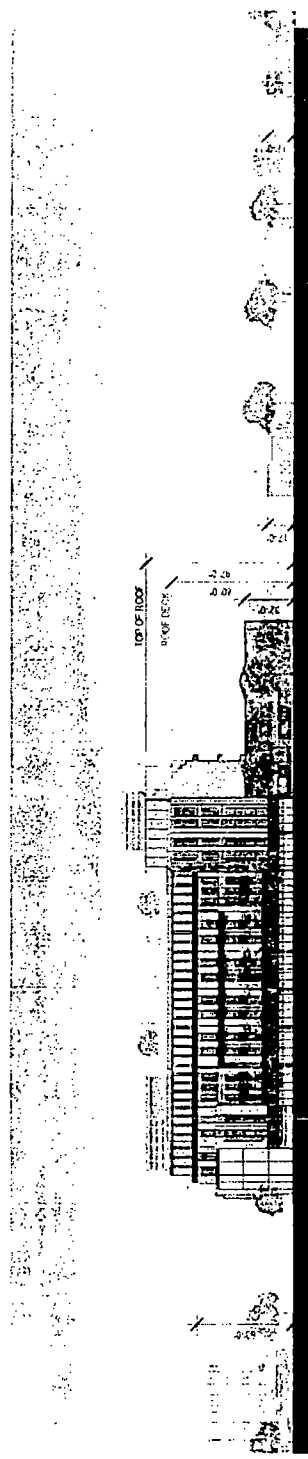


BUILDING SECTION LOOKING SOUTH

SCALE: 1" = 50'-0"

FINAL FOR PUBLICATION

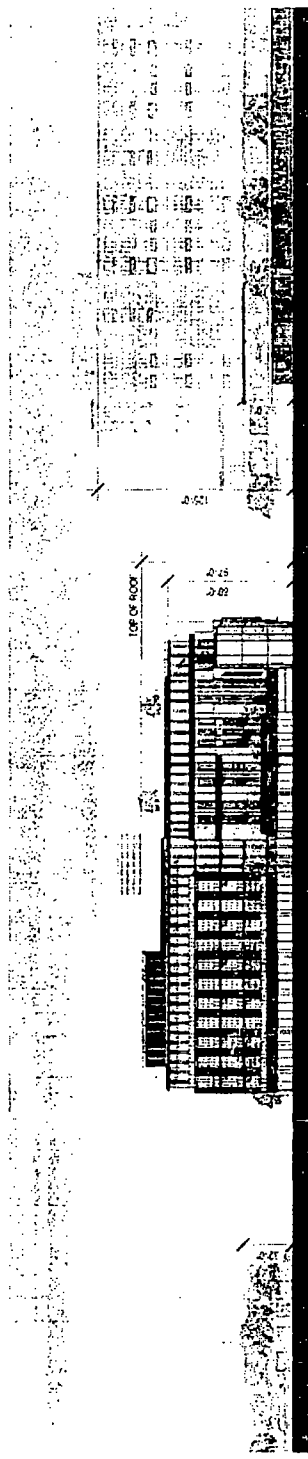
STREETSCAPE ELEVATION



E WESTING COMMERCIAL
 W CICERO AVE
 SIX CORNERS DEVELOPMENT
 EXISTING BUILDING
 W PATRICK AVE
 EXISTING COMMERCIAL
 PARKWAY LOT
 EASTING COOPER BLDG

STREETSCAPE - SOUTH ELEVATION

SCALE 1" = 100'-0"



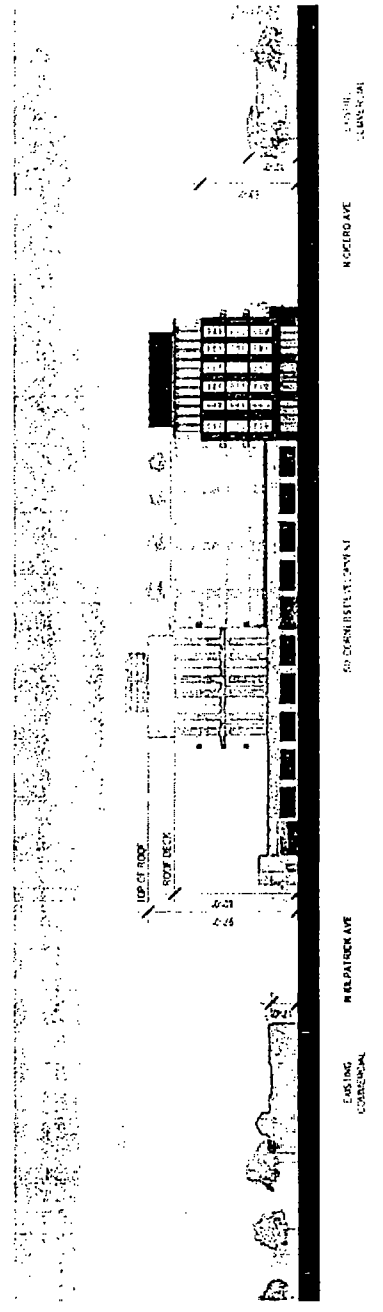
E WESTING COMMERCIAL
 W COULTER AVE
 SIX CORNERS DEVELOPMENT
 W PARKING PARKER RD
 EASTING COMMERCIAL

STREETSCAPE - WEST ELEVATION

SCALE 1" = 100'-0"

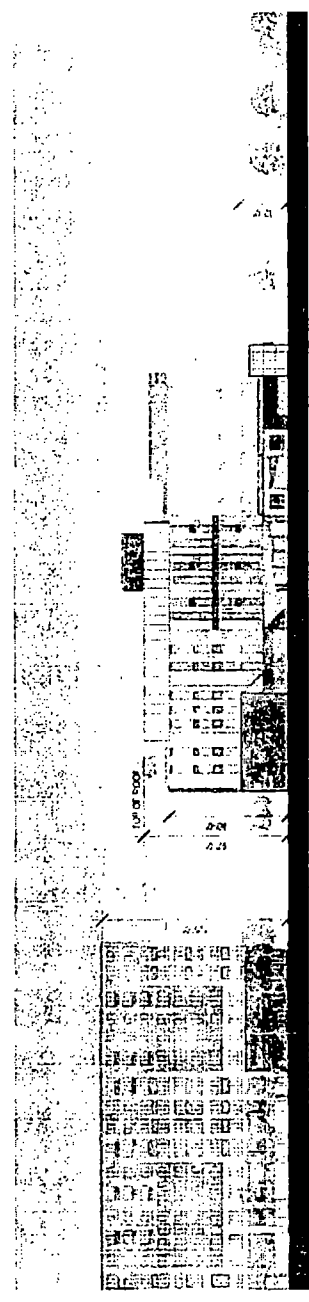
FINAL FOR PUBLICATION

STREETSCAPE ELEVATION



STREETSCAPE- NORTH ELEVATION

SCALE 1" = 100'-0"



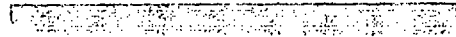
STREETSCAPE- EAST ELEVATION

SCALE 1" = 100'-0"

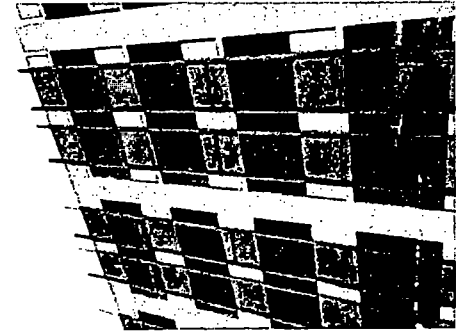
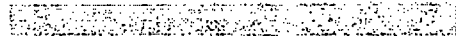
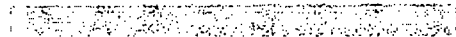
MATERIAL BOARD



BRICK VENEER



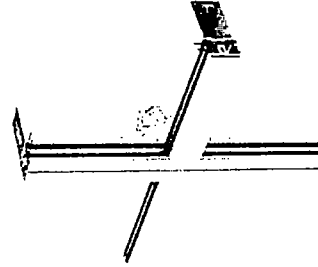
GLASS FIBER REINFORCED CONCRETE



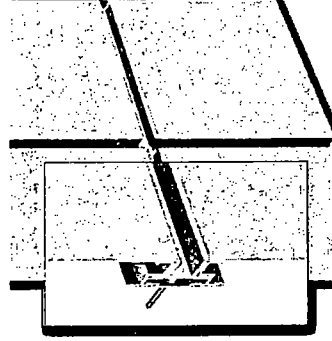
DECORATIVE METAL SCREEN



WOOD SOFFIT



ALUMINUM AND GLASS GLAZING SYSTEM

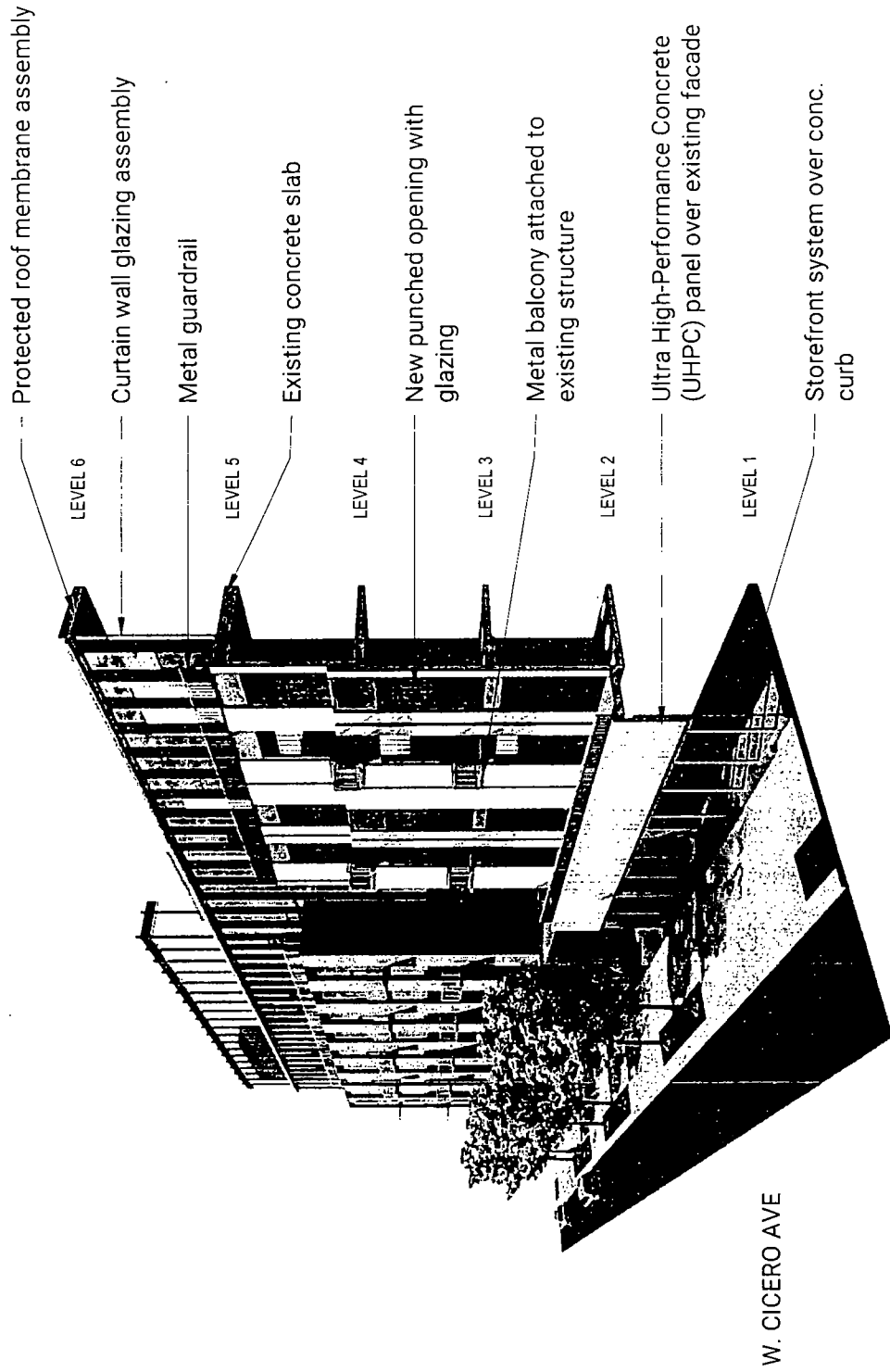


ALUMINUM COMPOSITE PANEL

NOT SHOWN: EXISTING CONCRETE PANELS, REPAIRED AND FINISHED WITH MINERAL PAINT

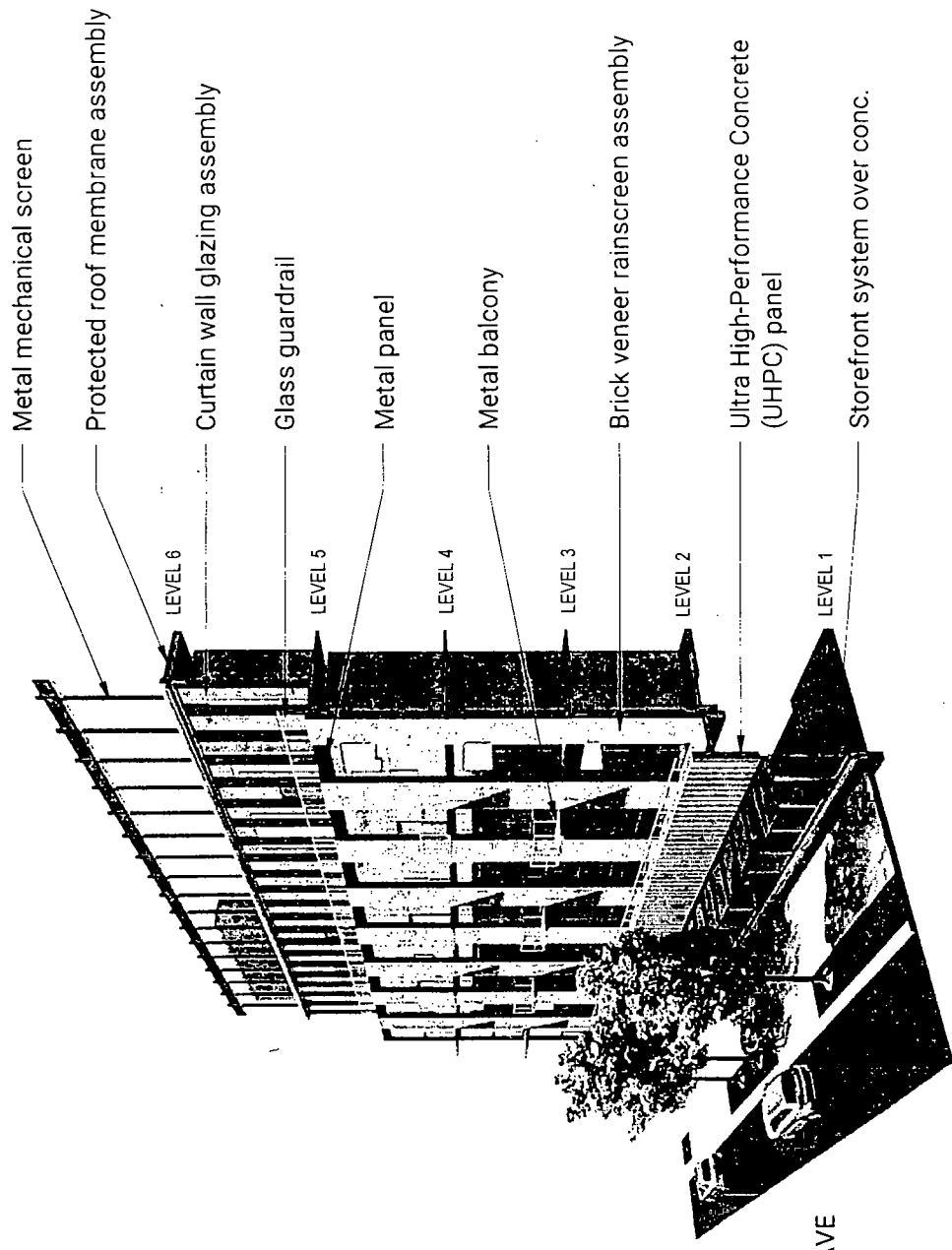
FACADE SECTION A (AT EXISTING STRUCTURE)

FINAL FOR PUBLICATION



FINAL FOR PUBLICATION

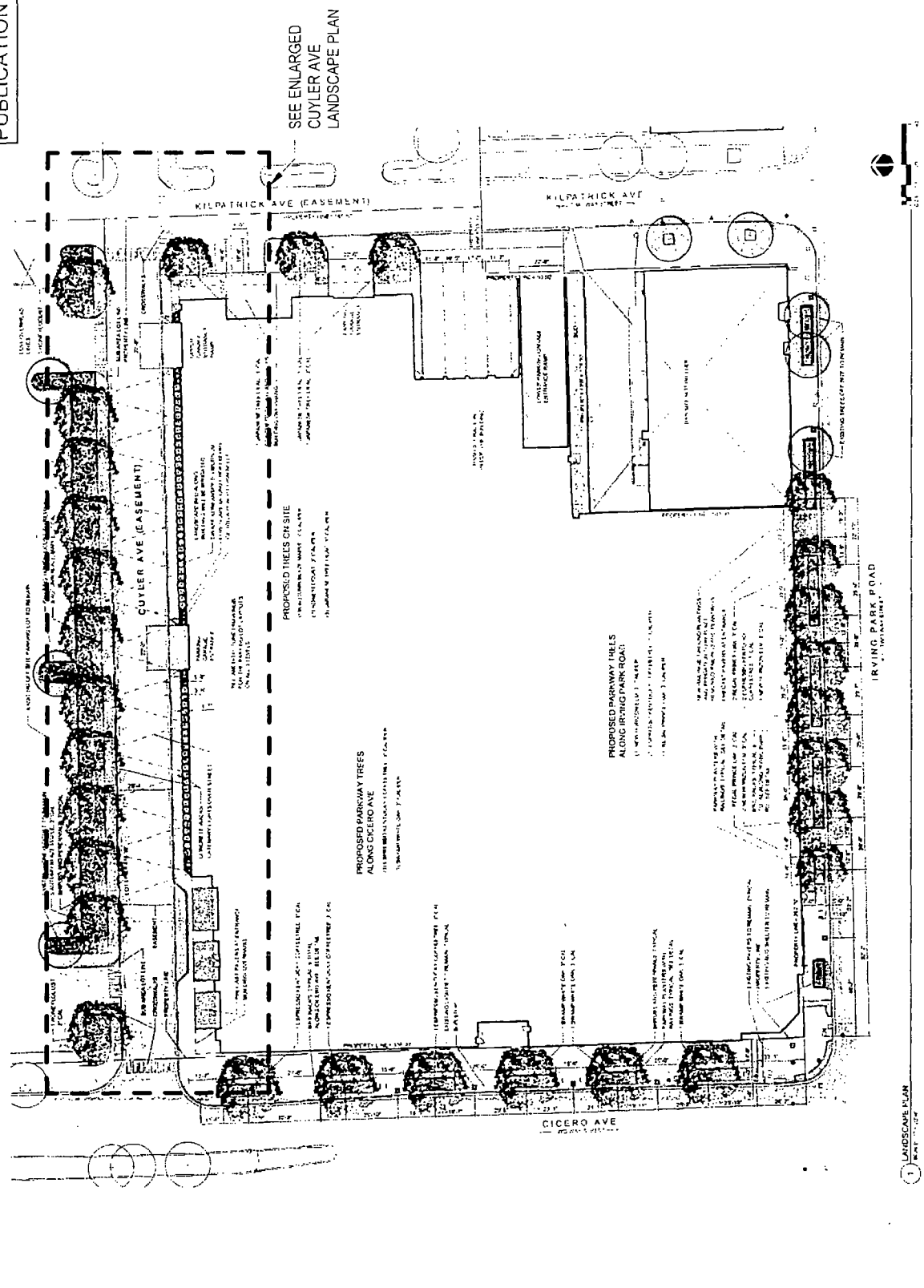
FACADE SECTION B (AT ADDITION)



W. CICERO AVE

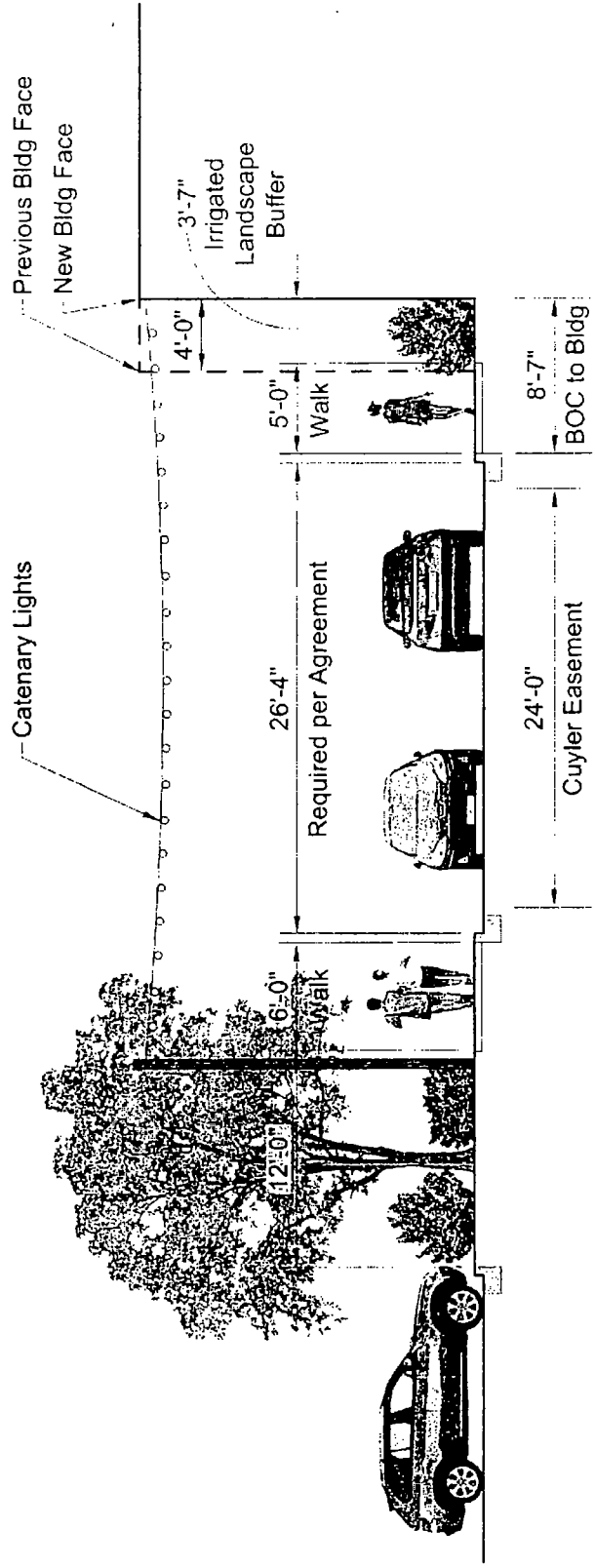
FINAL FOR PUBLICATION

STREET LEVEL LANDSCAPE PLAN



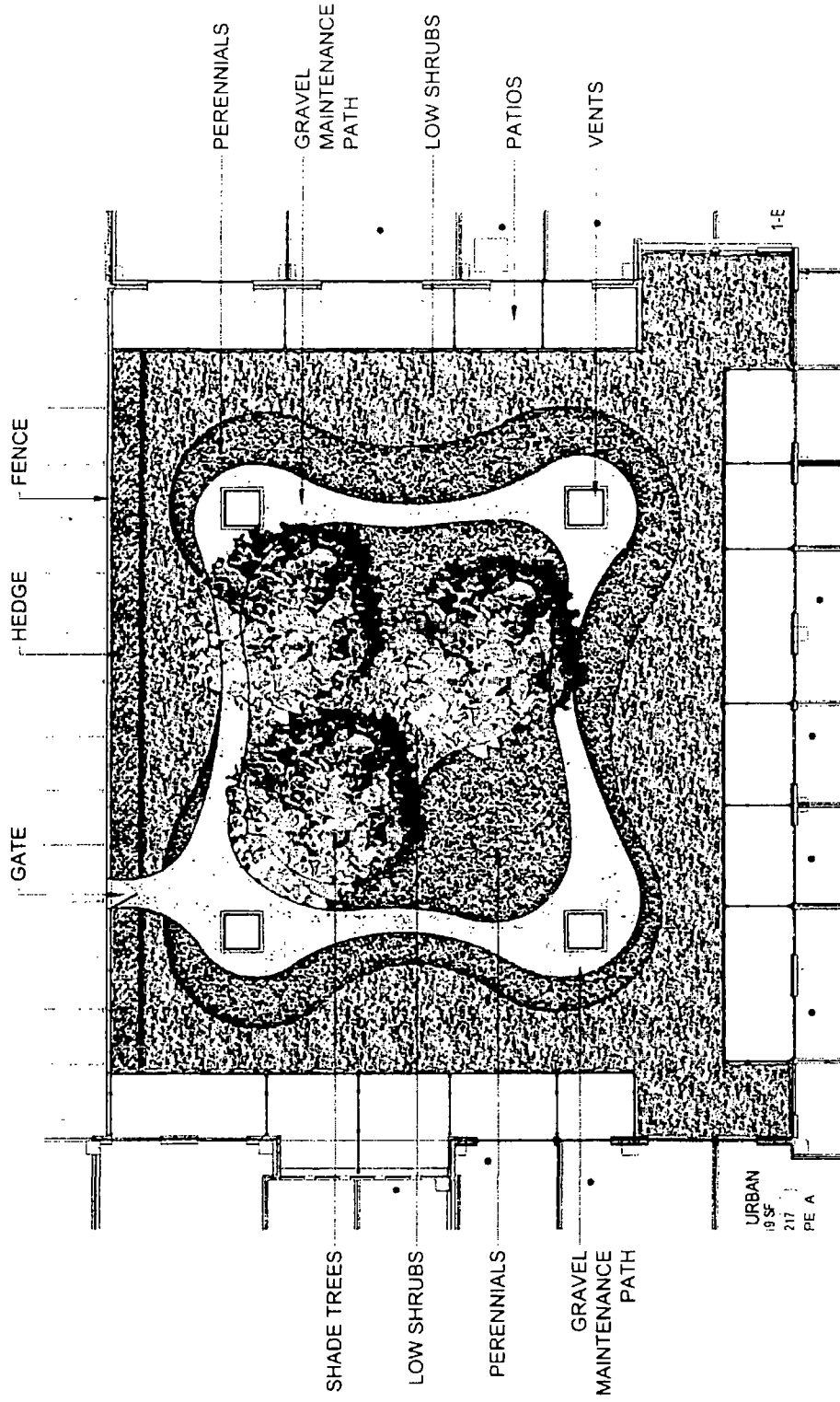
CUYLER AVENUE SECTION

FINAL FOR PUBLICATION



LEVEL 2 COURTYARD PLAN

FINAL FOR PUBLICATION



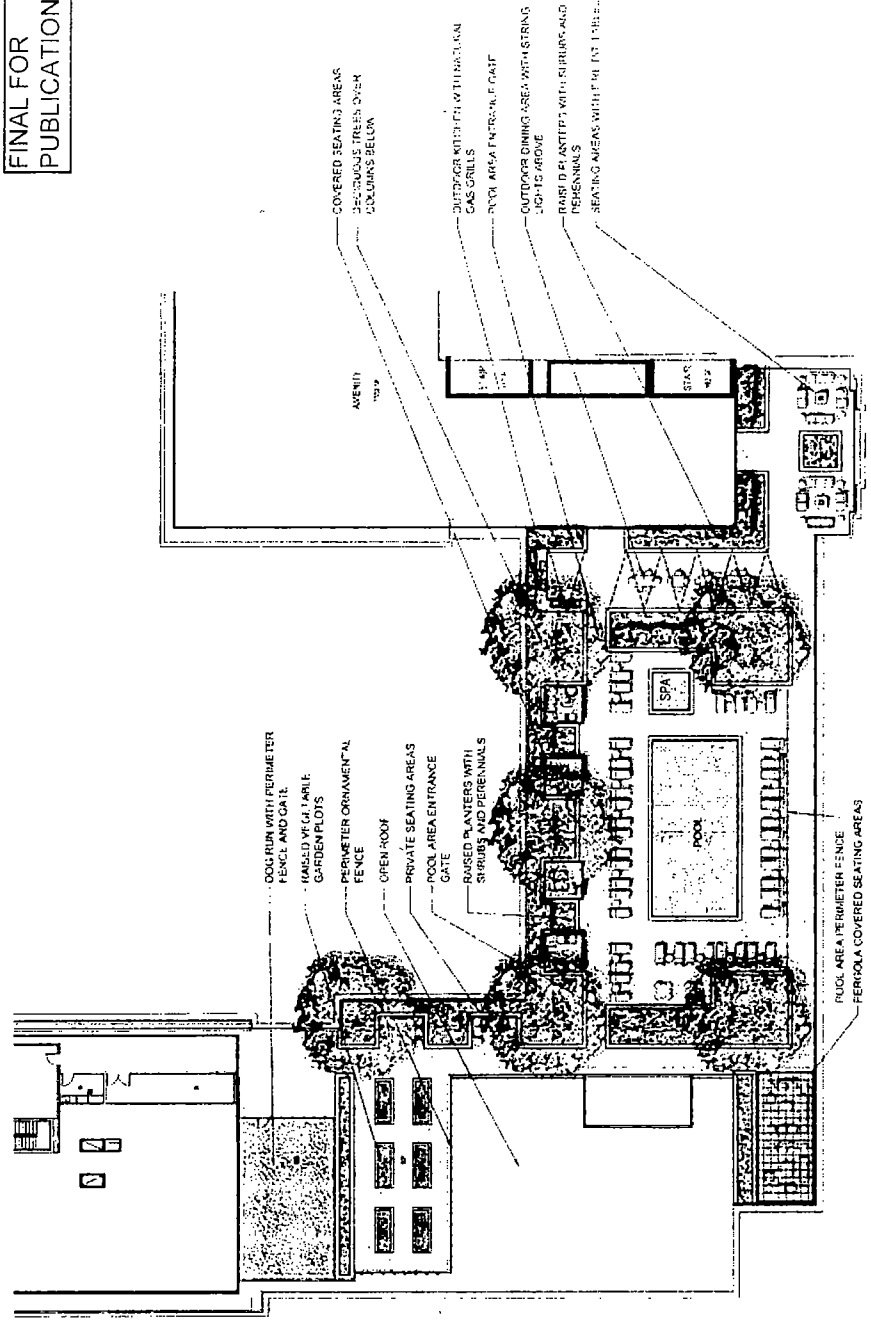
SIX CORNERS - SECOND FLOOR COURTYARD

JULY 23, 2021

DANIEL WEINBACH & PARTNERS, LTD

AMENITY DECK LANDSCAPE PLAN

FINAL FOR PUBLICATION



SIX CORNERS - AMENITY DECK
 DANIEL WEINBACH & PARTNERS, LTD
 JULY 23, 2021



FINAL

DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

MEMORANDUM

To: Alderman Tom Tunney
Chairman, City Council Committee on Zoning

From: 
Maurice D. Cox
Chicago Plan Commission

Date: August 26, 2021

Re: Proposed Amendment to Business Planned Development #617
(4712-4738 W. Irving Park Rd.)

On August 26, 2021, the Chicago Plan Commission recommended approval of the proposed amendment to Business Planned Development #617, submitted by Six Corners Real Estate Devt., LLC. The Applicant proposes to amend Business Planned Development 617 to create three subareas within the preexisting planned development boundaries with an underlying B3-3 (Community Shopping District) zoning classification. The B3-3 zoning will allow for expanded uses, including residential dwelling units, across the site. Proposed physical improvements to the former Sears department store building include additions of habitable floor area and outdoor amenity space at the roof level, new window openings, façade rehabilitation, and reconstruction of the northern portion of the parcel for structured parking and additional mixed-use commercial/residential space.

The project will result in approximately 50,000sf of ground floor commercial retail with a total of 207 dwelling units on the four floors above. The overall FAR for the planned development is .73. The proposed building height, with additions, is 97'-0" to the top of the 6th floor roof plus 15'-7" to the top of the rooftop mechanical screening. The building's parking garage is proposed to accommodate 257 automobiles and 207 bicycles. Pedestrian walkway improvements and additional landscaping to be provided along the Cuyler private roadway immediately north of the building site. There are no other changes to the properties. I would very much appreciate your assistance in having this introduced at the next possible City Council Committee on Zoning.

Also enclosed is a copy of the staff report to the Plan Commission which includes the Department of Planning and Development, Bureau of Zoning recommendation and a copy of the resolution. If you have any questions in this regard, please do not hesitate to contact Eiliesh Tully at 312-744-4849.

Cc: PD Master File (Original PD, copy of memo)